

## AGENDA

WORK SESSION OF THE CITY COUNCIL OF THE CITY OF COTTONWOOD, ARIZONA, TO BE HELD SEPTEMBER 13, 2016, IMMEDIATELY FOLLOWING A SPECIAL MEETING, AT THE COUNCIL CHAMBERS BUILDING, 826 NORTH MAIN STREET, COTTONWOOD, ARIZONA.

- I. CALL TO ORDER
- II. ROLL CALL
- III. ITEMS FOR DISCUSSION, CONSIDERATION, AND POSSIBLE DIRECTION TO STAFF:

***Comments regarding items listed on the agenda are limited to a 5 minute time period per speaker.***

- 1. REVIEW OF "THE VINEYARDS AT COTTONWOOD" PROPOSED PLANNED AREA DEVELOPMENT REZONE LOCATED ON 89A BETWEEN & GROSETA RANCH ROAD.

- IV. ADJOURNMENT

Pursuant to A.R.S. 38-431.03.(A) the Council may vote to go into executive session on any agenda item pursuant to A.R.S. 38-431.03.(A)(3) Discussion or consultation for legal advice with the attorney or attorneys of the public body.

The Cottonwood Council Chambers is accessible to the disabled in accordance with Federal 504 and ADA laws. Those with needs for special typeface print or hearing devices may request these from the City Clerk (TDD 634-5526.) All requests must be made 24 hours prior to the meeting.

Members of the City Council will attend either in person or by telephone conference call.





 [Print](#)

Meeting Date:	September 13, 2016
Subject:	Review and discussion of The Vineyards at Cottonwood proposed PAD (Planned Area Development) rezoning.
Department:	City Clerk
From:	Charles Scully, Planner

#### REQUESTED ACTION

No Action required.

#### SUGGESTED MOTION

If the Council desires to approve this item the suggested motion is: N/A

#### BACKGROUND

**Project Summary:** The Vineyards at Cottonwood proposal is a 555-unit mixed-residential development located on 100.83 acres of vacant property. The proposal includes approximately 65 acres of residential development with 3 acres of community center/commercial, and 30 acres of open space preservation.

**Property History:** In 2001, the property was rezoned to Planned Area Development (PAD) for the “Groseta Ranch Master Plan” approving approximately 65 acres of commercial/retail and 35 acres of multi-unit residential development. The development site covered 144 acres and included at least four new full-access intersections on SR 89A. The project was never developed. The new proposal represents a significant change in terms of the area covered, site access plan, and proposed uses; therefore, a new PAD ordinance is requested.

#### PROCEDURES

##### **Rezoning:**

The proposal includes rezoning from the existing PAD Zone (subject to Ordinance 408, 2001) to a new PAD Zone subject to a new ordinance. The PAD rezoning is established subject to a new Master Development Plan (MDP) which is approved as part of the rezoning ordinance.



The standard rezoning procedure for Cottonwood includes a public hearing and recommendations from the Planning and Zoning Commission followed by a public hearing with the City Council prior to the second reading.

**Master Development Plan:** The PAD Zoning requires submittal of a Master Development Plan (MDP), which includes the overall proposal and describes any proposed unique features. The MDP is approved through the rezoning ordinance and serves as the guide for development of the project.

### **Subdivision:**

The Subdivision process includes a separate application for Subdivision Platting to establish the building parcels and dedications of public right-of-way and utilities. The Preliminary Plat, including preliminary technical reports, is approved through public hearings with P&Z Commission and City Council. Preliminary Plat is followed by detailed submittals of engineering plans and related technical documents. Financial assurances for proposed public dedications are also approved as part of the Final Plat process. Once all the technical plans, engineering and assurances are approved, the Final Plat is submitted to City Council for approval.

### **JUSTIFICATION/BENEFITS/ISSUES**

The Vineyards at Cottonwood proposal provides a mix of housing types to reflect the diversity of the community, preservation of natural drainage washes and open space, and pedestrian and vehicle connections to surrounding areas.

### **COST/FUNDING SOURCE**

Financial assurances will be required for public dedications included with subdivision process.

<b><u>ATTACHMENTS:</u></b>		
Name:	Description:	Type:
<input type="checkbox"/> <a href="#">Vineyards Rezone - Planning Analysis 2016.docx</a>	Planning Staff Analysis Rezoning	Cover Memo
<input type="checkbox"/> <a href="#">MDP Revised August 2016 2nd Revision Final.pdf</a>	Master Development Plan revised Aug 2016	Cover Memo
<input type="checkbox"/> <a href="#">Master Site Plan Revised August 2016.pdf</a>	Master Site Plan rev. Aug 2016	Cover Memo
<input type="checkbox"/> <a href="#">Preliminary Staff Comments.pdf</a>	Staff Comments preliminary	Cover Memo
<input type="checkbox"/> <a href="#">P_Z Stipulations Revised 7-18-16 Vineyards.pdf</a>	P&Z Commission Recommendations Vineyards	Cover Memo
<input type="checkbox"/> <a href="#">Vineyards Minutes P_Z Commission 7-18-16.pdf</a>	P&Z Commission Minutes July 2016	Cover Memo
<input type="checkbox"/> <a href="#">Zoning Sec 424 PAD Zone.pdf</a>	PAD Zone Ordinance Sec 424	Cover Memo





**REVIEW OF  
“THE VINEYARDS AT COTTONWOOD”  
PLANNED AREA DEVELOPMENT (PAD) REZONING**

**City of Cottonwood City Council Work Session  
September 13, 2016 Work Session**

**Staff Review: Charles Scully, Planner**

**BACKGROUND**

The Planning and Zoning Commission considered the proposed PAD rezoning at their July 18, 2016 meeting and recommended approval (5-0) subject to 23 conditions. A neighborhood meeting conducted by the applicants and attended by over 50 people was held at the nearby On the Greens clubhouse on May 25, 2016. At the meeting no major concerns were raised. A full media release for the neighborhood meeting was sent out in advance of the meeting. A 32-square foot public hearing notice sign for the rezoning has been installed on the property facing SR 89A. Notification letters were sent to all property owners within 300 feet of the project boundary, as required. One letter of concern was received by a nearby property owner from the Verde Heights subdivision on N. Ocotillo Street. Concerns included potential trespassing on their property, littering, noise and crime associated with residents of the new development.

**PROPERTY HISTORY:** In 2001, the 144 acre property was rezoned PAD (Ordinance 408) for the *Groseta Ranch Master Plan* to allow almost 65 acres of commercial, retail and business park uses along the state highway corridor. In addition, over 35 acres of multi-unit residential was approved. That project did not move forward and no development activity took place.

**PROJECT SUMMARY:** The 555-unit Vineyards at Cottonwood proposal is located on 100.83 acres and includes approximately 65 acres of mixed-residential development, with 3 acres of community center/commercial, and 30 acres of open space preservation.

**MASTER DEVELOPMENT PLAN:** Planned Area Development (PAD), Section 424 of the Zoning Ordinance, requires submittal of a Master Development Plan (MDP) in a format described in the ordinance. The MDP is intended to lay out the overall proposal and include any proposed unique features. The MDP is approved through the rezoning ordinance and serves as the guide for development of the project.

**GENERAL PLAN CONFORMANCE:** The proposed development is in conformance with the *Cottonwood General Plan 2025* Land Use Classification, which is indicated as Planned Development (PLD). In addition, the Growth Area Element specifically indicates this property as suitable for efficient, infill development, as per the description of a “growth area,” as defined by Arizona Revised Statutes.



**HOUSING MIX:** There are 4 types of housing proposed: 1) “single-family residential” on larger lots; 2) “patio homes” comprised of mid-sized, detached single-family residential in 4-unit groupings around a shared driveway access; 3) 8-plex, multi-unit condominiums; and 4) “town homes” condominium. The total number of dwelling units will be limited to no more than 555 residential units.

**DESIGN CHARACTER:** The design theme for the development is influenced by the Craftsman architectural style, which became a popular style of housing over a century ago. Craftsman style focused on practical design elements while recognizing the quality of handcrafted workmanship. The design style is adaptable to different types of buildings and can be applied to contemporary materials and construction techniques.

Craftsman style structures historically had low-pitched roof lines with gabled or hipped roofs, deeply projecting overhanging eaves, open front porches beneath extensions of the main roof, exposed rafters or decorative brackets under the eaves, tapered, square columns supporting the porch roof, multi-pane double-hung windows, hand-crafted stone, woodwork and metal details, and mixed materials throughout the structure. Roof details often have decorative “knee brace” features or long exposed “rafter tails.” Exterior walls often were finished with wood shingles and exposed horizontal lap siding. Craftsman style may have exposed natural material details, such as wood or stone, in a natural state. Craftsman homes may include a range of colors, such as green, yellow and blue, but with a more “earthy” tone and hue. Accent colors also provide a strong part of the composition and may range from muted neutrals to warm bright colors.

**ACCESS AND CIRCULATION:** The roundabout at Groseta Ranch Road will be the primary access to the development for the initial phase. As per code, a second means of access will be provided at the time the project reaches 100 dwelling units by connecting Groseta Ranch Road to N. Main Street. Neighborhood interconnection is generally a key transportation goal as this provides greater overall system efficiency on a city-wide basis.

**WATER AND SEWER:** Water connection will be to City utility lines which have adequate capacity to serve the proposed development. In 2009, the City obtained a Certificate of Water Adequacy for Cottonwood from the Arizona Department of Water Resources (ADWR) based on required studies and analysis. A separate hydrological study is therefore not required for new subdivisions at this time. Water conservation will be promoted through low water and drought tolerant landscaping. Waste water facilities will require extension of lines and will be designed and constructed by the developer according to City requirements.

**PHASED DEVELOPMENT:** There are nine (9) phases of development indicated over a 10 year period. The proposal is designed to allow flexibility with the mix of housing types for future phases of development while keeping within a defined framework with the overall number of units. PAD Zoning specifically allows consideration of such amendments provide the overall gross density for the development is maintained as approved with the initial MDP. There are four types of housing; however, the exact mix of housing types may be adjusted in future phases so as to respond to market demand. Phase 1 is proposed as 41 single family residential units located directly northeast of the roundabout intersection at SR 89A and Groseta Ranch Road. Subsequent Phases may have a mix of housing types, including condominium apartments, town homes and patio homes; however, the total number of units for the entire project will remain at 555 dwelling units.



**DESIGN REVIEW:** As per Section 424 (PAD Zone) G.7. regarding Design Review requirements, the following is applicable:

“7. The preliminary review and recommendations by the DRB (*Design Review Board merged with Planning and Zoning Commission, 3-17-2009; Ord. 544*) regarding the design theme and guidelines for the proposed PAD shall not take the place of the formal review and approval for individual buildings, structures and related features which is otherwise required through a separate application process subsequent to the approval of the PAD, unless such future development is specifically approved as part of the MDP or unless such development is otherwise exempt from the Design Review process.”

Design Review Procedures: The developer has requested to defer the Design Review requirements for the project until the time future phases are proposed, as permitted by the PAD Zine procedures. Prior to development approval the developer will be required to submit for Design Review to the Planning and Zoning Commission for approval, including complete site plan, landscape plan as per Section 407, building design plans, and other standard items for Design Review.

MDP Design Guidelines: PAD Zoning requires preliminary design guidelines to be included as part of the MDP. Design Review, including architecture, site layout, landscaping and open space details, applies to the entire PAD project. In this case, the design review requirements will be deferred to the time the future phases are proposed. The overall design theme based on the Craftsman style has been well documented in the MDP. Future phases will be expected to be of compatible quality and style to the design theme shown.

#### **OPEN SPACE AND TRAILS:**

Washes: The site is bisected generally west to east by a series of natural drainage features, including a portion of Mescal Gulch, a mapped FEMA floodplain located to the north of Groseta Ranch Road. Mescal Gulch drains a relatively large watershed reaching towards the upper areas on Mingus Mountain and continuing to the Verde River. The other drainage washes accommodate mostly local runoff from the hillsides and developed areas to the west of SR 89A, which can also carry substantial runoff in flash flood conditions. The layout for the development preserves the main drainage channels as open spaces with homes backing up to these areas.

Trails: A conceptual trails map was provided with the draft Master Development Plan with a layout that primarily follows the wash corridors. Details of trails locations in relation to the open space tracts will need to be provided with phased development of the subdivision plats.

**DEVELOPMENT AGREEMENT:** As part of the Subdivision Platting process, a Development Agreement will be established to provide a clear understanding of roles and responsibilities for both the City and the developer. The DA is intended to help identify responsibilities and guide actions by each party. The Development Agreement and Zoning Ordinance will be compatible in terms of stipulations.

#### **ATTACHMENTS**

- Draft Master Development Plan – *revised August 2016*
- Master Site Plan – *revised August 2016*
- Planning and Zoning Commission Minutes of July 18, 2016
- Comments: Code Review Board (Planning); Fire Department; and Engineering
- Section 424. PAD Zone (Zoning Ordinance)









# A Multi Phased Master Development Plan

Developed by:

The Vineyards at Cottonwood I, LLC

Managed By

Granite Mountain Asset Management LLC

7765 N Williamson Valley Road Prescott,

Arizona 86305

Submitted May 2016

Revised June 2016

2nd Revision August 2016



## EXECUTIVE SUMMARY

**Property:** 100.83 acres consisting of parcels 406-23-036V, 406-23-036W, 406-23-174, 406-32-080A, 406-32-080H. Parcels will be re-assigned new parcel numbers by the County.

**Zoning:** This property is currently zoned light commercial and multifamily per the 2001 PUD, ORD #408. GMAM and The Vineyards at Cottonwood I, LLC propose to rezone to PAD for single family, multifamily and commercial/residential zoning.

**Management:** Granite Mountain Asset Management L.L.C. (GMAM) is an investment and development company. The managing members are Clark Pettit, KJ Kasun and Swayze McCraine (Principals). The Principals have a 28-year history of developing and managing over \$25 million in investors' funds, with gross returns of over \$125 million in revenues. GMAM is the manager of The Vineyards at Cottonwood I, LLC (Vineyards). GMAM and the Vineyards jointly purchased 100.83 acres from Aultman Land and Cattle, LLC.

**Project Name:** The new development will be named "The Vineyards at Cottonwood".

**Project Length:** The project will consist of 9 development phases over an estimated 8-10 year duration.



## PROJECT NARRATIVE

GMAM, as managers of The Vineyards, wishes to build and provide infrastructure, city and private streets and walkways to "Old Town Cottonwood" to service approximately 555 new residences on this 100+/- acres. The terrain and gentle grades will also allow for a community/commercial center with shops and markets along with a small community farm growing produce and vegetables for the local Farmer's Market. Further in keeping with the Wine Theme prevalent through Cottonwood the majority of the open space will be oriental vines and while using the natural arroyos as walkways to access the public attractions as well as the "Old Town" area.

The current design of homes allows for front and side porches inviting a "hometown" feel and allowing neighbors to meet and greet one another. Exterior finishes, in keeping with the Americana theme shall consist of a cement product lap siding complimented with stone, stone veneer accents, stucco walls, architectural shingles, all neatly coordinated and integrated with Craftsman style paints and trim colors to create some individual feel. "The Vineyards at Cottonwood" will offer four distinct products all constructed within the same Craftsman Americana architecture style.



Starting with our patio home series we intend to bring the families together with porches that face your neighbor and side entry garages. Larger patio homes 1400s-2100sf constructed on 4950-6050sf lots will be offered initially in 1st phase. Our smaller patio home series ranging from 1100-1400sf on a minimum 4000sf flaglot with shared driveways may be offered during later building phases based on consumer demand.

Single family home series will range from 1500sf to 2300sf and offer the same architecture and style as the patio homes. Set on lots 45' x110', 55'x 110' and some larger custom lots, with options for front entry or side entry garages, and front porches. Single family homes will be offered during all building phases.

Townhouses may be offered during phase's 3, 6, 7, and 8 of the project based on consumer demand. The units located around the community/commercial center will be built on 4000sf lots and offer Craftsman Style architecture and range from 1100sf-1250sf with common wall design and garages for each unit.

Condominiums will balance out the community with a Craftsman style design 4 up/4 down building set on a 10,000sf lot. Ranging in size from 1000sf to 1200sf, covered parking, ample open space, and access to the amenities offered within the development, these upscale units will offer an affordable option for those individuals looking for a turn-key option with no maintenance.



All our products will be engineered and constructed to Energy Star ® specifications and furnished with Energy Star ® appliances and features to reduce our energy consumption and carbon footprint.

“The Vineyards at Cottonwood” offers a beautiful and tranquil setting with views of the Mingus Mountains to the South and the Red Rocks to the North. Each phase of the development will be designed to capture those amazing panoramic views. With open space to the NW, and the community of Pine Shadows, On the Greens development and Coyote Hills Golf Course to the N, open space to the E and crossroads development on the S side of SR-89A, our development will feel open and not boxed in.

With a multitude of arroyos, ravines, flood plain and washes, our trail system will offer miles of adventure and natural undisturbed setting for wildlife viewing. A short walk or bicycle ride through the development to Main Street will put you in the heart of “Old Town” with all the amenities it has to offer. Golf cart use on the Northern most part of the trail system leading to Old Town may be allowed in future phased development only if the City, police, and fire department approve the usage.



## DIGITAL DVD TABLE OF CONTENTS

### FOLDERS

Folders contain respective name items and exhibits for the project

1. Appendix Exhibits
2. Conceptual Exhibits
3. Engineering Exhibits
4. House and Condo Elevation Exhibits
5. Nursery Plant Exhibits

### PDF FILES

6. MDP Final Print Revised
7. Neighborhood Meeting Sign In and Comments
8. Proposed Street and Lane Names



## TITLE PAGE

Development Name:

The Vineyards at Cottonwood

Development Location:

The approximate 100.83 acres that comprises The Vineyards at Cottonwood is located at SR-89A and Groseta Ranch Road on the north side of SR-89A and north east and northwest side of Groseta Ranch Road, located within the city limits of Cottonwood, Arizona, County of Yavapai.

Applicant/Developer name and contact information:

The Vineyards at Cottonwood I, LLC, and Granite Mountain Asset Management, LLC

Swayze McCraine

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Prescott, AZ 86305

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Email: [info@granitemountainasset.com](mailto:info@granitemountainasset.com)

Website: [www.granitemountainasset.com](http://www.granitemountainasset.com)

DATE SUBMITTED: May 20, 2016 Revised June 2016



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## APPENDIX

- A. Master Phase Plan
- B. Phase I Site Plan
- C. Growth Areas General Plan 2025
- D. Zoning Map 2014 General Plan 2025
- E. Master Site Conceptual Plan
- F. Land Legal Description
- G. Aerial Topo
- H. Commercial/Community Center Conceptual
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- L. Marquee Design Features
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- N. Entryway Landscaping
- O. Project Granite Selection
- P. Trail Amenities
- Q. Trail Map
- R. Common Area Landscaping
- S. ADWR Designation of Adequate Water Supply
- T. Master Plant List
- U. Urban scape Products
- V. Irrigation Routing
- W. Traffic Trip Generation Report
- X. Project lights
- Y. Aerial Landscape SR-89A
- Z. Landscape Sketch



# PROJECT NARRATIVE

## Name:

*“The Vineyards at Cottonwood”* is the name of this multi-phased master planned development recognizing the City of Cottonwood and its strong affiliation to the Arizona Wine Country.

## Property Owners Contact Information:

The Vineyards at Cottonwood I, LLC and Granite Mountain Asset, LLC

Swayze McCraine  
7765 N. Williamson Valley Road  
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928-771-0673 T  
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Clark Pettit  
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## Developers Contact information:

The Vineyards at Cottonwood I, LLC, Managed by Granite Mountain Asset, LLC

Swayze McCraine  
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## PROJECT NARRATIVE

Clark Pettit  
7765 N. Williamson Valley Road  
Prescott, AZ 86305  
928-460-0840 T  
928-771-0747 F

Email: [info@granitemountainasset.com](mailto:info@granitemountainasset.com)

Website: [www.granitemountainasset.com](http://www.granitemountainasset.com)

### Location:

*"The Vineyards at Cottonwood"* is located at SR-89A and Groseta Ranch Road on the north side of SR-89A and north east and northwest side of Groseta Ranch Road, located within the city limits of Cottonwood, Arizona, County of Yavapai. (Complete Legal Description is included in the MDP)

## PROJECT NARRATIVE SUMMARY

A comprehensive project narrative summary that addresses all the required information requested, has been assembled within the MDP and can be found in the Table of Contents, Appendix Exhibits and the Digital DVD of the submitted MDP.

### Disclosure:

THE VINEYARDS AT COTTONWOOD CAFÉ AND COMMERCIAL CENTER ARE INTENDED TO BE CONCEPTUAL DEPICTIONS ONLY.

Actual architecture design and building plans will be finalized and submitted during future phases of the MDP and community development.



A CONCEPTUAL PRESENTATION  
OF

*the*  
Vineyards  
*at Cottonwood*



## The Vineyards at Cottonwood Legal Description

The Vineyards project consist of multiple parcels which total 100.83 acres. The following parcels are included in the project. Parcel numbers

406-32 -080A and 406-32 -080H will be re-parceled and assigned new parcel numbers by the County.

406-23-036R

406-23-036V

406-23-036W

406-23-174

406-32-080A

406-32-080H

The complete legal description is described below:



Order No.: **01838725-295-NA**

Policy No.: **AZ-FXDK-IMP-81306-1-16-01838725**

## **Commonwealth Land Title Insurance Company**

### **SCHEDULE A**

Name and Address of Title Insurance Company:

**Lawyers Title of Arizona, Inc.  
1500 E Woolford Road ,Suite 102  
Show Low, AZ 85901**

Policy No.: **AZ-FXDK-IMP-81306-1-16-01838725**

Order No.: **01838725-295-NA**

Address Reference: **Vacant Lots, Yavapai, , AZ**

Amount of Insurance: **\$2,848,044.00**

Date of Policy: **March 31, 2016 at 2:27 PM**

1. Name of Insured:

**The Vineyards At Cottonwood I L.L.C., an Arizona limited liability company**

2. The estate or interest in the Land that is insured by this policy is:

**A FEE**

3. Title is vested in:

**The Vineyards At Cottonwood I L.L.C., an Arizona limited liability company**

4. The Land referred to in this policy is described as follows:

**See Exhibit A attached hereto and made a part hereof.**

**THIS POLICY VALID ONLY IF SCHEDULE B IS ATTACHED**

81306A (6/06)

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ALTA Owner's Policy (6/17/06)

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**EXHIBIT A**  
**LEGAL DESCRIPTION**

**PARCEL NO. 1:**

That portion of Sections 28 and 33, Township 16 North, Range 3 East, Gila and Salt River Meridian, Yavapai County, Arizona, being portions of those certain parcels described in Book 3984 of Official Records at Page 64 and Book 3984 of Official Records at Page 67, records of Yavapai County, more particularly described as follows:

COMMENCING at the south quarter corner of said Section 28 marked with a found 1/2 inch rebar with set tag "LS 48100 (from which the southwest corner of said Section 28, marked with a found, bent, rebar with aluminum cap "RLS 40622", bears North 88°51'34" West, along the Basis of Bearing, a distance of 2648.46 feet);

Thence North 88°51'35" West, along the south line of the southwest quarter of said Section 28 a distance of 1645.61 feet to a point;

Thence South 05°37'52" East a distance of 407.23 feet to a point;

Thence South 57°33'17" West a distance of 204.00 feet to a point;

Thence North 86°33'06" West a distance of 335.72 feet to a point on the easterly right-of-way of the PRESCOTT-FLAGSTAFF HIGHWAY per Drawing Number D-13-T-464 on file with the Arizona Department of Transportation and the Warranty Deed re-recorded in Book 4768 of Official Records at Page 553, records of Yavapai County marked with a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 51°07'57" West, along said easterly right-of-way, a distance of 230.49 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622", the TRUE POINT OF BEGINNING;

Thence North 40°41'19" West, along said easterly right-of-way, a distance of 449.08 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 01°41'55" East, along said easterly right-of-way, a distance of 28.05 feet to a point on said south line of the southwest quarter of said Section 28 marked with a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 01°47'45" East, along said easterly right-of-way, a distance of 31.34 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 56°54'34" East, along said easterly right-of-way, a distance of 259.24 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 25°08'18" West, along said easterly right-of-way, a distance of 13.31 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 24°52'54" West, along said easterly right-of-way, a distance of 25.00 feet to a point on the southerly line of that certain exception described as PARCEL 1 in said Book 3984 at Page 67 marked with a set 1/2 inch rebar with plastic cap "LS 48100" in pavement;

81306A (6/06)

2

ALTA Owner's Policy (6/17/06)

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**EXHIBIT A**  
**(Continued)**

Thence North 64°15'46" East, along said southerly line of exception, a distance of 90.24 feet to a found spindle with washer "LS 13015" in pavement;

Thence North 63°56'12" East, along said southerly line of exception, a distance of 28.82 feet to a point on the southerly line of that certain right-of-way granted to the City of Cottonwood and described on EXHIBIT B in Book 4217 of Official Records at Page 577 marked with a set 1/2 inch rebar with plastic cap "LS 48100" in pavement;

Thence North 73°50'09" East, along said southerly line of right-of-way, a distance of 252.98 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100;

Thence easterly, along said southerly line of right-of-way, along a curve to the right having a radius of 360.00 feet, a central angle of 17°50'56", a chord of North 82°45'37" East, 111.70 feet, for an arc length of 112.15 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100;

Thence South 88°18'55" East, along said southerly line of right-of-way, a distance of 10.84 feet to a point;

Thence South 00°41'18" East a distance of 145.53 feet to a point;

Thence South 01°08'25" West a distance of 249.50 feet to a point;

Thence South 50°02'37" West a distance of 493.65 feet to the TRUE POINT OF BEGINNING.

**PARCEL NO. 2:**

That portion of Sections 28 and 33, Township 16 North, Range 3 East, Gila and Salt River Meridian, Yavapai County, Arizona, being portions of those certain parcels described in Book 3984 of Official Records at Page 64 and Book 3984 of Official Records at Page 67, records of Yavapai County, more particularly described as follows:

BEGINNING at the south quarter corner of said Section 28 marked with a found 1/2 inch rebar with set tag "LS 48100 (from which the southwest corner of said Section 28, marked with a found, bent, rebar with aluminum cap "RLS 40622", bears North 88°51'34" West, along the Basis of Bearing, a distance of 2648.46 feet);

Thence North 88°51'35" West, along the south line of the southwest quarter of said Section 28 a distance of 1645.61 feet to a point;

Thence South 05°37'52" East a distance of 407.23 feet to a point;

Thence South 57°33'17" West a distance of 204.00 feet to a point;

Thence North 86°33'06" West a distance of 335.72 feet to a point on the easterly right-of-way of the PRESCOTT-FLAGSTAFF HIGHWAY per Drawing Number D-13-T-464 on file with the Arizona Department of Transportation and the Warranty Deed re-recorded in Book 4768 of Official records at Page 553, records of Yavapai County marked with a found aluminum cap "ADOT ROW 2009 RLS 40622";

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**EXHIBIT A**  
**(Continued)**

Thence North 51°07'57" West, along said easterly right-of-way, a distance of 230.49 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 50°02'37" East a distance of 493.95 feet to a point;

Thence North 01°08'25" East a distance of 249.50 feet to a point;

Thence North 00°41'18" West a distance of 145.53 feet to a point on the southerly line of that certain right-of-way granted to the City of Cottonwood and described on EXHIBIT B in Book 4217 of Official Records at Page 577;

Thence South 88°18'55" East, along said southerly line of right-of-way, a distance of 844.00 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence northeasterly, along said southerly line of right-of-way, along a curve to the left having a radius of 440.00 feet, a central angle of 34°07'26", a chord of North 74°37'22" East, 258.20 feet, for an arc length of 262.05 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence North 57°33'39" East, along said southerly line of right-of-way, a distance of 686.99 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence northeasterly, along said southerly line of right-of-way, along a curve to the left having a radius of 440.00 feet, a central angle of 04°25'16", a chord of North 55°21'01" East, 33.94 feet, for an arc length of 33.95 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100"

Thence North 53°08'23" East, along said southerly line of right-of-way, a distance of 263.69 feet to a point on the locally accepted north-south mid-section line of said Section 28 marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 00°01'22" West, along said mid-section line, a distance of 834.67 feet to a found 1/2 inch rebar with tag "LS 32224";

Thence South 00°17'19" West, along said mid-section line, a distance of 150.03 feet to the POINT OF BEGINNING.

**PARCEL NO. 3:**

That portion of Section 29, Township 16 North, Range 3 East, Gila and Salt River Meridian, Yavapai County, Arizona, being a portion of that certain parcel described as PARCEL 2 in Book 3984 of Official Records at Page 66, records of Yavapai County, more particularly described as follows:

COMMENCING at the south quarter corner of Section 28, said Township and Range marked with a found 1/2 inch rebar with set tag "LS 48100;

Thence North 88°51'34" West along the south line of the southwest quarter of said Section 28 and the Basis of Bearing, a distance of 2648.46 feet to the southeast corner of said Section 29 marked with a found, bent, rebar with aluminum cap "RLS 40622";

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**EXHIBIT A**  
**(Continued)**

Thence North 00°01'30" West a distance of 150.74 feet to a point on the easterly right-of-way of the PRESCOTT-FLAGSTAFF HIGHWAY per Drawing Number D-13-T-464 on file with the Arizona Department of Transportation and the Warranty Deed re-recorded in Book 4768 of Official Records at Page 553, records of Yavapai County marked with a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence South 65°35'15" West, along said easterly right-of-way, a distance of 50.75 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 74°40'47" West, along said easterly right-of-way, a distance of 155.85 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 44°38'55" West, along said easterly right-of-way, a distance of 405.00 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 05°18'05" West, along said easterly right-of-way, a distance of 91.04 feet to a point on the southerly line of said PARCEL 2 marked with a set 1/2 inch rebar with plastic cap "LS 48100", the TRUE POINT OF BEGINNING;

Thence North 05°18'05" West, continuing along said easterly right-of-way, a distance of 9.86 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 61°45'06" West, along said easterly right-of-way, a distance of 220.77 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 44°39'12" West, along said easterly right-of-way, a distance of 431.99 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 07°00'05" East, along said easterly right-of-way, a distance of 48.39 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 35°09'52" West, along said easterly right-of-way, a distance of 164.23 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 44°39'27" West, along said easterly right-of-way, a distance of 127.33 feet to a point on the north line of said PARCEL 2 marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence North 82°38'00" East, leaving said right-of-way, along said north line, a distance of 721.71 feet to the end of the westerly line of that certain right-of-way granted to the City of Cottonwood and described on EXHIBIT B in Book 4217 of Official Records at Page 577 marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 44°41'05" East, along said westerly line of right-of-way, a distance of 628.44 feet to a point on the southerly line of said PARCEL 2 marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 55°45'19" West, along said southerly line, a distance of 110.11 feet to a found 5/8 inch rebar with illegible plastic cap and set tag "LS 48100";

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**EXHIBIT A**  
**(Continued)**

Thence South 51°42'35" West, along said southerly line, a distance of 259.86 feet to a found 5/8 inch rebar with set tag "LS 48100";

Thence South 61°30'43" West, along said southerly line, a distance of 192.34 feet to a found 5/8 inch rebar with plastic cap "LS 13015";

Thence South 32°52'33" West, along said southerly line, a distance of 30.33 feet to the TRUE POINT OF BEGINNING.

**PARCEL NO. 4:**

That portion of Sections 28 and 29, Township 16 North, Range 3 East, Gila and Salt River Meridian, Yavapai County, Arizona, being a portion of that certain parcel described as PARCEL 1 in Book 3984 of Official Records at Page 66, records of Yavapai County, more particularly described as follows:

COMMENCING at the south quarter corner of said Section 28 marked with a found 1/2 inch rebar with set tag "LS 48100";

Thence North 88°51'34" West along the south line of the southwest quarter of said Section 28 and the Basis of Bearing, a distance of 2648.46 feet to the southwest corner of said Section 28 marked with a found, bent, rebar with aluminum cap "RLS 40622";

Thence North 00°01'30" West a distance of 150.74 feet to a point on the easterly right-of-way of the PRESCOTT-FLAGSTAFF HIGHWAY per Drawing Number D-13-T-464 on file with the Arizona Department of Transportation and the Warranty Deed re-recorded in Book 4768 of Official Records at Page 553, records of Yavapai County marked with a found aluminum cap "ADOT ROW 2009 RLS 40622", the TRUE POINT OF BEGINNING;

Thence South 65°35'15" West, along said easterly right-of-way, a distance of 50.75 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 74°40'47" West, along said easterly right-of-way, a distance of 155.85 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 44°38'55" West, along said easterly right-of-way, a distance of 405.00 feet to a found aluminum cap "ADOT ROW 2009 RLS 40622";

Thence North 05°18'05" West, along said easterly right-of-way, a distance of 91.04 feet to a point on the northerly line of said PARCEL 1 marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence North 32°52'33" East, along said northerly line, a distance of 30.33 feet to a found 5/8 inch rebar with plastic cap "LS 13015";

Thence North 61°30'43" East, along said northerly line, a distance of 192.34 feet to a found 5/8 inch rebar with set tag "LS 48100";

Thence North 51°42'35" East, along said northerly line, a distance of 259.86 feet to a found 5/8 inch rebar with illegible plastic cap and set tag "LS 48100";

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**EXHIBIT A**  
**(Continued)**

Thence North 55°45'19" East, along said northerly line, a distance of 110.11 feet to a point on the westerly line of that certain right-of-way granted to the City of Cottonwood and described on EXHIBIT B in Book 4217 of Official Records at Page 577 marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 44°41'05" East, along said westerly line of right-of-way, a distance of 266.82 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence southeasterly, along said westerly line of right-of-way, along a curve to the left having a radius of 440.00 feet, a central angle of 11°18'53", a chord of South 50°20'32" East, 86.75 feet, for an arc length of 86.89 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 55°59'58" East, along said westerly line of right-of-way, a distance of 160.73 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence southerly, along said westerly line of right-of-way, along a curve to the right having a radius of 260.00 feet, a central angle of 39°50'07", a chord of South 36°04'55" East, 177.15 feet, for an arc length of 180.77 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 16°09'51" East, along said westerly line of right-of-way, a distance of 37.03 feet to an angle point (the intersection of said westerly line of right-of-way and the northerly line of the same right-of-way) marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 73°50'09" West, along said northerly line of right-of-way, a distance of 252.15 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence southwesterly, along said northerly line of right-of-way, along a curve to the left having a radius of 540.00 feet, a central angle of 28°29'01", a chord of South 59°35'39" West, 265.70 feet, for an arc length of 268.45 feet to a point marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 45°21'09" West, along said northerly line of right-of-way, a distance of 28.66 feet to a point on the easterly right-of-way of said PRESCOTT-FLAGSTAFF HIGHWAY marked with a set 1/2 inch rebar with plastic cap "LS 48100";

Thence South 65°34'31" West, along said easterly right-of-way, a distance of 1.68 feet to the TRUE POINT OF BEGINNING.

APN:

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**SCHEDULE B**  
**EXCEPTIONS FROM COVERAGE**

**PART I**

This policy does not insure against loss or damage, and the Company will not pay costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
5. (a) Unpatented claims; (b) reservations or exceptions in patents or in acts authorizing the issuance thereof; (c) water rights, claims or title to water; whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.

**END OF SCHEDULE B- PART I**

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## SCHEDULE B

### PART II

1. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the year 2016.
2. Intentionally Deleted
3. Intentionally Deleted
4. Intentionally Deleted
5. Liabilities and obligations imposed upon said Land by its inclusion within any district formed pursuant to Title 48, Arizona Revised Statutes.
6. Reservation, exceptions, covenants, conditions, smoke easement and rights reserved or imposed in Deed:  
  
Recorded in Book 187 of Deeds  
Page 331  
(all parcels)
7. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:  
  
Purpose: drainage  
Recorded in Book: 301 of Official Records  
Page: 21  
(all parcels)
8. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:  
  
Purpose: construction  
Recorded in Book: 328 of Official Records  
Page: 414  
(all parcels)
9. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:  
  
Purpose: electric lines  
Recorded in Book: 930 of Official Records  
Page: 660  
And thereafter Release of Easement  
Recorded in Book: 4465 of Official Records  
Page: 560  
(Affects Section 33)
10. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:  
  
Purpose: communication and other facilities  
Recorded in Book: 1361 of Official Records  
Page: 410  
(Parcels 1, 2 and 4)



**Schedule B  
(Continued)**

11. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: slope  
Recorded in Book: 2012 of Official Records  
Page: 120  
(Parcels 1, 2 and 4)

12. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: drainage  
Recorded in Docket: 2012 of Official Records  
Page: 123  
(Affects Section 33)

13. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Purpose: public road  
Recorded in Book: 2019 of Official Records  
Page: 116  
(Affects Section 33)

14. Matters shown on record of survey:

Recording No.: Book 49 of Land Surveys, page 87  
(all parcels)

15. Matters shown on record of survey:

Recording No.: Book 63 of Land Surveys, page 20  
(all parcels)

16. Matters shown on record of survey:

Recording No.: Book 80 of Land Surveys, page 56  
(all parcels)

17. Matters shown on record of survey:

Recording No.: Book 81 of Land Surveys, page 99  
(Affects Section 33)





**Schedule B  
(Continued)**

18. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
- Purpose: underground electric lines  
Recorded in Book: 3253 of Official Records  
Page: 879  
(Affects Section 28)
19. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
- Purpose: underground electric  
Recorded in Book: 3253 of Official Records  
Page: 883  
(Affects Section 28)
20. The effect of Resolution No. 2002-01 by the Verde Rural Fire District and the Cornville/Page Springs Fire District recorded in
- Recorded in Book: 3892 of Official Records  
Page: 665  
Concerning Fire District boundaries  
(all parcels)
21. Matters shown on record of survey disclosing Territory in the Vicinity of the Cottonwood Airport:
- Recording No.: Book 55 of Maps, page 98  
(all parcels)
22. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document:
- Purpose: public road  
Recorded in Book: 4217 of Official Records  
Page: 577  
(Affects Section 28)
23. Resolution of Establishment by the Arizona Department of Transportation
- For: highway  
Recorded in Book: 4519 of Official Records  
Page: 34  
(all parcels)



Order No.: **01838725-295-NA**

Policy No.: **AZ-FXDK-IMP-81306-1-16-01838725**

**Commonwealth Land Title Insurance Company**

**SCHEDULE A**

Name and Address of Title Insurance Company:

**Lawyers Title of Arizona, Inc.  
1500 E Woolford Road ,Suite 102  
Show Low, AZ 85901**

Policy No.: **AZ-FXDK-IMP-81306-1-16-01838725**

Order No.: **01838725-295-NA**

Address Reference: **Vacant Lots, Yavapai, , AZ**

Amount of Insurance: **\$2,848,044.00**

Date of Policy: **March 31, 2016 at 2:27 PM**

1. Name of Insured:

**The Vineyards At Cottonwood I L.L.C., an Arizona limited liability company**

2. The estate or interest in the Land that is insured by this policy is:

**A FEE**

3. Title is vested in:

**The Vineyards At Cottonwood I L.L.C., an Arizona limited liability company**

4. The Land referred to in this policy is described as follows:

**See Exhibit A attached hereto and made a part hereof.**

**THIS POLICY VALID ONLY IF SCHEDULE B IS ATTACHED**

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## DEVELOPMENT PHASE OVERVIEW

During the last housing boom developers started clearing and developing land, building walls, adding infrastructure at record pace all in speculation of completing as fast as possible and starting the next project. As we saw with the prolonged economic downturn, most of these developments sat idle, and became community eyesores. Many projects financially failed leaving the municipalities to pick up the cost for HOA services, maintaining the common and open areas, along with the nuisance of unfinished projects.

*“The Vineyards at Cottonwood”* will implement strategic phasing to best manage all resources available, realize cost savings to both the city and developer by only adding infrastructure, utilities, and offsite improvements as needed to complete each phase of the development.

*“The Vineyards at Cottonwood”* will be a project length of 8 to 10 + years and 9 development phases. Each construction phase will be started at 50% absorption rate of the current phase. This allows the current land to remain natural until each phase is started for construction.



The overall conceptual vision of this project will be refined over the course of the project to reflect evolving residential and commercial demands. (*See Master Phase Plan Appendix A*)

While this is our first project in Cottonwood, we are committed to building a long term relationship with the city and the community as we have with all of our past projects.

Design that is appealing, innovative, and controlled phased development throughout the this project will make “*The Vineyards at Cottonwood*” a success for the City of Cottonwood, community and the Heart of Wine Country Arizona.



## PHASE I PLAN

The 9.37 acre parcel 406-23-036W will be the site of Phase I. The site boundaries will be SR-89A on the S, Anna's Avenue on the N-NW, Parcel 406-23-036V on the W, and Groseta Ranch Road on the SE-E. 1st phase will consist of 20 patio homes on 4950sf lots and 21-single family homes on 6050sf lots constructed on 5.97 acres. The remaining 3.40 acres is split as follows: 2.04 acres toward open/green space requirements and the remaining 1.36 acres as Public Right-Of-Way  
*(Appendix B Phase I site plan)*

### Model Homes

Three model homes will be constructed as part of Phase I and located within phase I boundary. The models will be located in decorative wrought iron or other type of fenced area which will be accessed through the sales office only. This arrangement will allow our potential residents safe, convenient pedestrian access to the model homes and development.



*“The Vineyards at Cottonwood”* will offer various lot sizes within the first phase development. Lots of 45' x 110' and 55' x 110' and some larger corner lots will be offered during 1st phase.

The unique location of *“The Vineyards at Cottonwood”* offers spectacular views of the Mingus Mountains to the South and the beautiful Red Rocks of “Red Rock Country” to the North allows Phase I lots to capture those panoramic views.



## LAND USE AREA SUMMARIES

Located in the “Heart of Arizona Wine Country”, being the “Primary destination in Arizona Wine Country and the “Central hub for the industry as a whole within the State” as identified in Cottonwood General Plan 2025, the Land Use of “*The Vineyards at Cottonwood*” project supports the continuing efforts of the City to successfully promote the Verde Valley Vineyards, Viticulture and Enology programs at Yavapai College, wineries, industry related commercial business and tourism.

“*The Vineyards at Cottonwood*” as the name suggest is to be developed with a vineyard theme community and a proposed commercial/community center that will likely include amenities such as small retail businesses, café, wine tasting room, organic farm, and farmers market for the enjoyment of all the residents of Verde Valley area. Located at SR-89A and Groseta Ranch Road and a convenient short walk through the development to “Old Town”, “*The Vineyards at Cottonwood*” will be the be one of first locations in Cottonwood to introduce the influx of visitors driving in from Jerome to Arizona vintners and their award winning wines.



The pre-existing 144 acre PAD (*Ord 408 Zoning map 2014 Appendix D*) was originally approved in 2001 but never developed so there are no existing land uses. 100.83 acres of the original PAD was jointly purchased by The Vineyards at Cottonwood I, LLC (*Developer*) and Granite Mountain Asset Management, LLC (*Project Manager*) on March 31, 2016 with the intent to developing a multi-mix residential community with a small commercial/community center (*master conceptual site plan Appendix E*) following the vision and wine theme focus of the Cottonwood General Plan 2025.

“*The Developer*” is proposing to rezone 100.83 acres of the pre-existing approved PAD and rezone into single family, multi-family and commercial/residential zoning.

Situated between our neighbors, “Pine Shadows” to the N-NE, “On the Greens” to the N-NE, “The Crossroads” on the E-SE on SR-89A, “Kindra Heights” to the N and our future planned project phases to the S-SE, this acreage is comprised of multiple parcels (*Land Legal description appendix F*) in which the terrain consist of desert vegetation, native trees, plants, and bushes throughout the property. Arroyos and well defined washes (*Topographic Map Appendix G*) will be utilized as part of the



trail system, common and open space throughout the project. The terrain has an approximate elevation range from 3,525' along SR-89A to 3,388' in Kindra Heights and a natural slope southeast to northwest of approximate 3%.

This project development is a multi-phased and multi-year project that requires a degree of flexibility in preliminary and final platting of the entire project to best benefit both the City of Cottonwood and the "*Developer*". Projects of this magnitude being driven by economic conditions, consumer demand, and product offered by "*Developer*" where, it is more prudent to submit a preliminary plat for each phase of the project. "*The Developer*" currently proposes to develop 555 homes on the 100.83 acres as follows: 68 acres of single family, multi-family and commercial/residential development, 2.83 acres of commercial/mixed use development and 30 acres of open space. The overall density of the project will range from 6.22 DU/AC for single family homes, 10.88 DU/AC for patio homes and townhouses to 16 DU/AC for condominium units. The mixed use areas are currently scheduled to be introduced during phase III-IV of the project.

The proposed commercial center/community center is projected to be approximately 3000-4000sf building located on approximately 2.83 acres



and will consist of a café, small retail spaces, farmers market and meeting/events room, organic farm, and parking. Vegetables and a small vineyard will be grown in the organic farm area with the help and support of local vintners and residents.

*(Commercial/Community Center Conceptual Appendix H)*

Further descriptive land uses will follow in other sections of the MDP.



## PUD/PAD ZONING APPROVAL

In 2001, subject property was rezoned to Planned Unit Development (PUD-C & PUD-R) Zone for the “Groseta Ranch Master Plan,” which included approximately 144 acres. PUD zoning city-wide was subsequently renamed Planned Area Development (PAD) Zone. The former project did not proceed past the zoning approval process. (*Ord # 408 zoning map Appendix D*)



## VINEYARDS PROJECT OBJECTIVES

*“The Vineyards at Cottonwood”* brings an exciting style and innovative product to the Cottonwood Community and Arizona’s Wine Country. Stepping back in time to offer Craftsman style architecture to its home design, concept and Vineyard themed development providing a sense of identity and unique style, rather than the common stucco box garage fronted neighborhood.

*“The Vineyards at Cottonwood”* will offer four distinct products constructed to Energy Star® Specifications with a variety of options and floor plans that will offer affordable price points for all of our products. To capture the beautiful views and features, our setting offers, our development will maintain our building heights to 19'+- on single family and patio homes, and 35' or less on townhouses and condominiums. All within the City of Cottonwoods standard.

### SINGLE FAMILY HOMES

Craftsman style family homes approximately 1500sf to 2300sf will be offered on ample 4950sf -6050sf lots utilizing 32%-41% of the lot area. Side entry and front entry 2 car garages, ample covered porches, and a variety of options and color choices.



## PATIO HOMES

Patio homes will be offered in approximately 1100sf to 1400sf offered on a minimum 4000Ssf lot and 1400sf-2100sf of 4950sf-6050sf utilizing 23%-41% of the lot area. Front and side entry 2 car garages, ample covered porches, and a variety of options and color choices, along with a design created to encourage interaction with your neighbor.

Single Family Homes, Patio Homes and Townhouse Standard Model Designs may be constructed or modified to meet certain lot configurations or if market demands require additional product options.

## TOWNHOUSES

Townhouses will be offered during phase's 3, 6, 7, and 8 of the project. The units located around the community/commercial center will be built on 4000sf lots utilizing 28%-32% of the lot area and offer Craftsman Style architecture. Units will range from 1100sf-1250sf with common wall design and garages for each unit.

## CONDOMINIUMS

Our Craftsman styled multi-family two story 8 unit condominiums will be offered during future phased construction as consumer demand dictates.



Condominium size will range from 1000sf to 1200sf, and offer 2-3 bedroom units in 4 units up and 4 units down configuration, ample storage, covered parking, spacious balconies, and future planned amenities that include spa, outdoor gazebo, access to hiking trails and all other development amenities.

All homes within the development will be constructed to Energy Star® Specifications and incorporate Architectural shingles, Hardie Board® siding, high Performance Low e Windows, energy efficient doors, sealed duct work, high efficiency heating and cooling systems, programmable thermostats, low water use plumbing fixtures and Energy Star® appliances.

## SITE LOCATION AND SURROUNDING FEATURES

*“The Vineyards at Cottonwood”* offers a beautiful and tranquil setting with views of the Mingus Mountains to the South and the Red Rocks to the North. Each phase of the development will be designed to capture those amazing panoramic views. With open space to the NW, and the community of Pine Shadows, On the Greens development and Coyote Hills Golf Course to the N, open space to the E and crossroads development on the S side of SR-89A, our development will feel open and not boxed in. With a multitude of arroyos, ravines, flood plain and washes, our trail system will offer miles of adventure and natural undisturbed setting for wildlife viewing. A short walk or bicycle ride through the development to Main Street will put you in the heart of “Old Town” with all the amenities it has to offer.



## LOW IMPACT DEVELOPMENT STRATEGY

The initial infrastructure stage of the project is the most critical stage of the project and will utilize a planned strategy that provides the least impact and disturbance to the land in each phase of the project. This strategy will continue into each construction phase of the project keeping as much of the natural terrain features undisturbed for protection of animal habitat, natural drainage management, and project overall community perception and aesthetics.

## DEVELOPMENT SIGNAGE

The signage plan for “*The Vineyards at Cottonwood*” will be themed to the development primarily at SR-89A and Groseta Ranch Road, Groseta Ranch Road and Main Street and the entryway feature proposed for the commercial center/community center within the development. LED down cast lighting will be used to illuminate entryway signs on Hwy 89A and Groseta Ranch Rd. and future entryway from Main Street and Groseta Ranch Rd. All signage and lighting plans will be submitted to the Zoning Administrator with the appropriate permits in accordance to the City of Cottonwoods sign ordinance for approval.



## COTTONWOOD GENERAL PLAN 2025 REVIEW

The City of Cottonwood General Plan 2025 has identified the location for “*The Vineyards at Cottonwood*” as a growth area in the Northern part of the city.

(*Growth Plan 2025 Appendix C*) Located at SR-89A and Groseta Ranch Rd., “*The Vineyards at Cottonwood*” brings a dynamic and creative design for this development while providing a “sense of place and identity” to its residents and Cottonwood and the community.

Following the vision of the City of Cottonwood 2025 General plan in growth, “Traditional Small Town Qualities”, and the increasing presence of Cottonwood being the “Primary destination in Arizona Wine Country and the “Central hub for the industry as a whole within the State”, The pre-existing 144 acre PAD (*Ord 408 Zoning map 2014 Appendix D*) was originally approved in 2001 but never developed so there are no existing land uses.



Vines, native and xeriscape plants will be located throughout the development in the common/open space areas and at the proposed commercial/community center that will likely showcase a small farmers market and area for organic farming of vegetables, and grapes, and offer some community amenities such as; small café, retail business space, and a community area for community events, addressing the social components of the General Plan 2025. (*Conceptual Café and Commercial Center Appendix H*)

Further following the “Small Town Qualities concept” of “Well Planned, Focused Development”, “Healthy Natural Environment”, “Affordable Housing”, “Human Scale and Walk-ability”, “Diversity of Housing” walking trails, bicycle lanes, well designed streets will allow safe access throughout the development. Future connection to Old Town Cottonwood through Groseta Ranch Road and Main Street, will be designed in future phases to promote a healthy active lifestyle.

“*The Vineyards at Cottonwood*” offers a unique and dynamic property concept with all its products that encourages human interaction with your neighbor through the broad mix and diversity of land uses, development design, circulation and open space plans, commercial/community center, café, organic farm, and the vast network of hiking trails, all essential elements of the General Plan 2025 goals.



Water Conservation is a controversial topic in Arizona and our community design, practices and goals aligns itself with the General Plan 2025, through water conservation practices, xeriscape and natural native plant selections, utilizing alternative water sources such as well water and effluent to irrigate the open space/common areas, low water use irrigation systems throughout the development, and low water use toilets, and fixtures are all key elements within the Water Resources Element of the General Plan.

Using the natural land resources of washes, arroyos and flood plain, and other sustainable development features utilized for natural drainage of the development will further the Environmental Planning Element of the General Plan Goals.

*“The Vineyards at Cottonwood”* is providing the public infrastructure required to serve this development in accordance to the Cost of Development Element of the General Plan.

The City of Cottonwood and Valley Verde region will embrace the Economic Development goals that generates from this project. Hiring local trades, buying material locally, supporting the retail and service sector of the community are a



few of the key objectives in keeping revenues in Cottonwood in accordance to the Economic Development Element of the General Plan.

*“The Vineyards at Cottonwood”* open space will consist of 30 acres and provide over 3 miles of multi-use hiking, bicycling trails around the perimeter of the development and through the development for resident enjoyment, meeting physical components of the General Plan 2025 Goals. The trail system will lead into Main Street and Old Town as a means for our residents to enjoy the amenities of the town without having to drive into town. Main trails will have trail markers and pet waste disposal stations and trash cans. Selected trails will have benches to enjoy the natural landscape and the panoramic views of the Red Rocks and the Mingus Mountains. Proposed future golf cart use on the Northern most part of the trail system leading to Old Town will be allowed only if the City, Police, and Fire departments approve the usage,

The circulation plan for *“The Vineyards at Cottonwood”* will provide safety, traffic calming devices, hammerhead designs on streets rather than Cul De Sacs, and street design that will address both neighborhood and local traffic in a safe and efficient manner, while providing marked bike lanes and a beautiful streetscape for all to enjoy.



*“The Vineyards at Cottonwood”* aligns itself with the City of Cottonwood and our Neighbors’ by embracing the same visions and goals set forth in the Cottonwood General Plan 2025.

Those visions and goals include “positive economic opportunity, a healthy natural environment, safe prosperous neighborhoods, effective physical infrastructure and a great quality of life.”



## Project Graphic Exhibits

Graphic Exhibits for “The Vineyards at Cottonwood” can be located in the appendix section of the MDP and the Digital DVD disk included in the front pocket of each MDP Book.



## PROPERTY DEVELOPMENT STANDARDS

*“The Developer”* will adhere to all City of Cottonwood Applicable building codes and subdivision ordinance standards for all Construction phases within the development.

## PRELIMINARY AND FINAL PLAT GUIDELINE

The project development is a multi-phase and multi-year project that requires a degree of flexibility in preliminary and final platting of the entire project to best benefit both the City of Cottonwood and the Developer. As most projects of this magnitude being driven by market demand it is more prudent to submit a preliminary plat for each phase of the project. That submitted will then become valid for 24 months after date of approval. Final Plats will be prepared in accordance to the approved preliminary plat and submitted with all documentation required by the City of Cottonwood.



## LOT MIX DESIGN GUIDELINE

Lots offered in the development will be 40', 45', 55' and 70' wide and 110' deep with a slight degree of variance for corner lots, flaglots, condo lots, and view lots. The total lot count of the project will remain the same as specified in the MDP zoning Ordinance and closely monitored throughout each building phase. Product mix and lot size mix will be determined by buyer demand in all building phases.

## PROPERTY PERIMETER SETBACK

All property perimeters, lots, and corner lot setbacks will be in accordance and conform to the City of Cottonwood Building Standards, Subdivision and Zoning Ordinances. Typical Lot layout setbacks fronting Collector street will be 5' on both sides, 15' rear and 8' front. On Local streets 5' on both sides, 15' rear and 8' ESMNT and front.

## WATER AND SEWER

The City of Cottonwood has a Designation of Adequate Water Supply Certificate issued by the ADWR that shows the City has ample water supply to supply *the “The Vineyards at Cottonwood”* development without the “Developer” having to seek alternative water supplies. (2014 ADWR Designation of Water Adequate Supply Appendix S).



The development will connect into the City sewer System for its waste water collection. Both water and sewer services are provided and maintained by the City of Cottonwood. “*The Developer*” will provide a new sewer lift station when the City deems the flow rates within the development dictate the need for the new lift station. The site location will be mutually agreed upon for the lift station in accordance with easements already obtained. The lift station and infrastructure will become property and responsibility of the City of Cottonwood to maintain and operate.

## GREY WATER DISPOSAL

“*The Vineyards at Cottonwood*” will be connected into the City sewer system and no other alternative dual drainage system is required for this project. The development will also follow the Water Resource Element of the General 2025 plan found on pg. 29 of the MDP.

## EFFLUENT WATER

“*The Vineyards at Cottonwood*” will utilize the City of Cottonwood effluent for all open space, and common space irrigation when the City makes the line improvement and extension to our development. Effluent lines and infrastructure within the development and off-site will be maintained and operated by the city of Cottonwood.



## MISCELLANEOUS DEVELOPMENT DESIGN STANDARDS

- ❖ All waste containers must be screened from the street and neighboring property or stored in garages.
- ❖ All stored items must be stored in garages or must not be visible from the street or neighboring property.
- ❖ On street parking is not allowed within the development after dusk.

## CONSTRUCTION OFFICE, MODEL HOMES AND SALES OFFICE

Model homes may be constructed in each phase of the project by the developer.

Sales offices and construction offices may be located in the model home or temporary mobile construction trailers or offices may be established throughout the development by developer upon approval from the Community Development Director, City Fire Marshal and City Manager.

## BUILDING HEIGHT

To capture the beautiful views and features, our setting offers, the "*Developer*" will maintain the building height to 20'+- on single family and patio homes, and 35' or less on townhouses and condominiums. All buildings will conform to the City of Cottonwoods Building Standards.



## PROJECT DESIGN AND GUIDELINES

A project themed natural planted screen wall will be constructed within the development in various heights to follow the natural terrain of the property. The screen wall will be essential for bird and other wildlife habitat and will be constructed in Phases and follow the same master phase plan of home construction. View fence or other wall screen may be added in specific locations throughout the development to enhance the natural features of the development. Themed project entryway features will be added by “*Developer*” at SR-89A and Groseta Ranch Road and Main Street and Groseta Ranch Road.

### SCREEN WALL

In order to provide seclusion and reduce noise from SR-89A, The “*Developer*” has selected a natural planted screen wall rather than typical block wall. This natural hedge wall will be constructed parallel with SR-89A and will run from our North and South property lines to the corner of Groseta Ranch Road (*Screen Wall design features Appendix I*). The Screen wall will be complimented with a Masonry project themed entryway into the development. All Screen walls at project entryways and corner lots will be constructed to City of Cottonwood Code.



## SCREEN WALL CONSTRUCTION

Utilizing a natural alternative, the screen wall along SR-89A will be constructed using (Red Tip Photinia “*Photinia x fraseri*”) to create a solid hedge screen wall. The wall will follow the topography of the terrain and will have various levels of vertical relief. Stone veneer columns will be placed at 150’ intervals for overall continuity and uniformity of the themed project. (*Screen Wall design features Appendix I*) to enhance the appearance of the natural screen wall.

## PROJECT THEMED MONUMENTATION

A masonry entry feature will be constructed at the intersection of SR-89A and Groseta Ranch road with “The Vineyards at Cottonwood” logo integrated into the feature to identify and promote “*The Vineyards at Cottonwood*”.

The masonry feature will include a project themed “*The Vineyards at Cottonwood*” signage integrated into the feature. This same design themed entry



wall screen will be used at Groseta Ranch Road and Main Street when this road is extended during future development phases. (*Entry design features Appendix J*).

## MARQUEE

Entry into the proposed commercial/community center development will be enhanced with an Entryway Feature (*Marquee Appendix K*) strategically placed to enhance overall vineyard theme and appearance of the commercial/community area. The vineyard theme of the project will be projected in the metal art laser cut top of the Marquee itself, positioned on stone veneer faced columns (*Marquee design features Appendix L*) with a step down pergola across both sides of the sidewalk leading into the commercial/community center.

## DEVELOPMENT FENCING

While our project intent and design is to promote an open feel and to encourage human interaction, we realize some residents will want to fence their individual property and we encourage the use of view fence rather than a solid wall.

Therefore only fencing that keeps the theme and uniform appearance of the subdivision will be allowed in the project. Residents wishing to build fencing will



need to submit the design to the HOA design committee for approval. All fences will be constructed to the City of Cottonwood zoning Code section 404 General Provisions.

## GATES

Due to our property size single entry fence gates are allowed up to 5' wide. In order to maintain the integrity of the development and project continuity, RV or double gates will be allowed only on specific lots designated by "*Developer*".

Wrought iron gates or wrought iron gates with wood slats are the only permitted gate approved for the subdivision.

## LANDSCAPING

*"The Vineyards at Cottonwood"* landscape plan will be designed in accordance to the City of Cottonwood Zoning Ordinance section 407 guidelines and approved plant selections.

The development will utilize low water use drip irrigation and xeriscape plant materials throughout the community to minimize water usage from both a supplementary water well (*AZDWR Well Registration Appendix M*) registered with



Arizona Department of Water Resources #55-905196 located on parcel 406-2036R of the property and future use of effluent from the City of Cottonwood when it becomes available to connect into the system at future development phases.

The low water drip irrigation system and irrigation well located within the subdivision property lines will be maintained by the community HOA.

Supplemental effluent water from the City of Cottonwood will be maintained by the City of Cottonwood from the source of origin to the connection point within the subdivision.

Tree and plant species native to the Cottonwood area will be utilized throughout the common areas, arterial and collector streetscapes with a common theme throughout the development with the exception of the themed development entryway and areas around the commercial/community center.

The main entry into the development accessed from HWY 89A and Groseta Ranch Road will have a vine's, flowering trees, and native trees and shrubs along both sides of Groseta Ranch Road to Anna's Avenue utilizing drought resistant vines, trees, xeriscape and native plants and shrubs that will run parallel with the road. (*Entryway Landscaping Appendix N*) and (*landscape plan Appendix Z*)

A secondary entry into the subdivision will be at Groseta Ranch Road and Main Street will be developed during later building phases and will incorporate some of



the same design features as the main entrance to keep continuity throughout the development.

Decomposed granite products in various colors and sizes will be used for residential, common areas, pathways and trails throughout the development to create a uniformed continuity throughout the development.

Boulders, rocks, and other compatible landscaping material is encouraged to enhance the design, character, and overall xeriscape theme to the subdivision.

All front yard landscaping and drip irrigation will be installed by the builder and will consist of drip irrigation and basic xeriscape plant and tree landscaping.

The homeowner can choose to upgrade landscaping from the basic package at their own expense and design approval by the HOA.

All residents will be required to obtain landscape design approval from the HOA design committee and landscape their backyards within 90 days of closing on their residence. A waiver or extension may be granted by the HOA upon filing for such waiver with the governing body of the HOA.

All landscaping other than builder provided will be at the home owner's expense.

Although discouraged, grass/turf will be allowed in backyard landscaping plans. The grass area is not to exceed 300sf and must be irrigated with low water use irrigation system.



The community HOA will approve the decomposed granite, plant and tree selections for front and back yard landscaping to comply with the City's Zoning Ordinance Section 407.

Decomposed granite color selection chart will be provided to homeowners along with approved plant selections by the HOA. The recommended selections and list are shown in (*Home Landscaping Appendix O*)

## SITE LIGHTING

Lighting throughout the development will utilize LED down cast fixtures to comply with the Dark Sky Requirement. Street lights will be used around the condominiums in phase 1, and at the entryway off of Anna's Avenue into the phase 1 development. Dark Sky Compliant coach light fixtures will be used on all houses and LED lights will be used under the parking canopies. In addition to this lighting, LED down cast lighting will be used for the entryway sign into the development. (See phase 1 lighting plan located in Digital Copy disc included in each MDP). An additional APS Dark Sky Compliant down cast street light will be strategically placed at the corner of Anna's Avenue and Groseta Ranch road and be the responsibility of the city to maintain. Light specifications can be obtained from APS. Future phase developing will include a lighting lumen cut sheet utilizing same or comparable Dark Sky Compliant fixtures as each phase is platted.



## OPEN SPACE/COMMON SPACE/TRAILS

Open Space and Common area landscaping will retain much of the natural native vegetation throughout the washes and walking trails. Trees will be pruned, brush thinned and trails will be constructed that will run around the perimeter of the property as well through the property utilizing the development natural features.

Benches will be selectively placed throughout the trail system with Trash/Doggie stations located at trailheads. Trail markers will be placed at main trailheads.

Trails will be constructed 6' -8' wide in a manner that optimizes natural terrain features and will be covered with compacted decomposed granite rock to promote drainage, keeping weeds and dust to a minimum, while providing a consistent uniformed trail surface throughout the community. (*Trail Amenities Appendix P*)

With 30% of open space in the development, the trail system will offer over 3.45 miles of walking/bicycle trails for resident enjoyment. The trail system will also connect the development to “Old Town Cottonwood” through Kindra Heights (*Trail Map Appendix Q*) to offer our residents a means to enjoy the “Entertainment District” and its amenities. Removable steel bollards will be placed at trail heads and street crossings to ensure no vehicle traffic enters the trail system other than maintenance vehicles.



## Open Space Standards

All trails that cross streets within the development will be marked at pedestrian crossing with both painted crossing area and posted pedestrian crossing signs at trail intersections to ensure pedestrian safety. Sidewalks and bike lanes on collector streets will connect to the open space, common space and trail system to allow pedestrian access. Golf cart use on the Northern most part of the trail system leading to Old Town may be allowed in future phased development only if the City, police, and fire department approve the usage.

Consistent to the vineyard theme, specific common areas, commercial/ community center, organic farm area will also have low water use vines to enhance the project theme and promote the regions Viticulture and Enology resources and industry. (*Project Vines Appendix R*)

Low water use drip irrigation and low water use irrigation systems will be utilized for common areas and some open space areas to supplement and sustain plant and tree growth. All landscaping, irrigation, and maintenance in common areas, open space and trails will be maintained and serviced by the community HOA.



# STREET STANDARDS

## STREET STANDARDS AND CIRCULATION PATTERN

All streets within The Vineyards at Cottonwood will be constructed to the City of Cottonwoods Standards. The circulation pattern has been designed and engineered for the safe and efficient travel throughout the development. Bicycle lanes, attractive landscape will adorn all collector streets. Traffic calming devices and engineering features will be implemented to safely control speed and convey regional and local traffic throughout the development and the future expansion of Groseta Ranch Road to Main Street. All public streets within the development will be maintained by the City of Cottonwood. Typical street construction for Hammerhead Turn-Arounds will be 40" R.O.W., 24' curb to curb, with a 5' sidewalk on the opposite side of the hammerhead turn-around. Local streets will be 45' R.O.W., 30' curb to curb with a 7' sidewalk on one side of the street. Collector Streets will be 60' R.O.W. 32' curb to curb with a 6' wide sidewalk on both sides of the street.



## TRAFFIC IMPACT ANALYSIS STUDY

At this point, the site is only conceptually designed with preliminary layout and unit orientation. We expect this concept to change after we commence engineering analyses.

The access to the site will be onto Groseta Ranch Road. Ultimately, traffic will distribute west onto SR 89A and/or east on Kendra heights to Main Street (to be developed).

The “developer” proposes to only commence the project with approximately 41 units. The purpose of this plan is to minimize development impacts and “test the market” to determine if a future phase can be developed or will be acceptable to the market.

Although the “grand plan” envisions another phase of development, there is not enough confidence in the market to propose the full build out at this time.

The build out time-frame will depend on how well the 41 units are received in the market. If this initial project is well received, the developer will proceed with planning of the future phase. However, a future phase may take 10 years or more



## TRAFFIC IMPACT ANALYSIS STUDY

if this initial market test is slow. Hence, for the traffic analysis, we propose the project be reviewed and analyzed as only this smaller initial phase at this time.

In the future, if the project is well received, a full Traffic Impact Study is proposed for all units including this first phase's 41 units. The time between this project and a future phase will assist the developer in understanding the market demand as well as to refine the future layout / site plans accordingly.

In addition it should be clearly noted if the “developer” performs a full Traffic Impact Study at this point in time, the results may not be valid due to the potential unknown variables.

The final site plan may substantially change in a future phase and the amount of lapsed time or delay between the small initial “market test” build and the future phase build could easily be beyond 4-5 years. This could render the traffic study “out of date” and new analyses / results would be needed to update the original study.

As a result of the above description, the “developer” would like to proceed with submitting the appropriate documentation for a 41 unit subdivision. With respect to traffic, the trip generation analyses has been performed and is attached as (*Traffic Trip Generation Report Appendix W*) submitted for record and future reference if a future phase can proceed. With this low quantity of units proposed, we are not



anticipating any further analyses other than a Trip Generation Analysis letter report. With the City's current guidelines of less than 50 units, no significant impacts are anticipated.



## MAINTENANCE AND OPERATION RESPONSIBILITIES

The Vineyards at Cottonwood I, LLC will create a Master HOA and establish sub HOA's for single family homes, patio homes and condominiums along with CC&R's established for this community to ensure the integrity of the development. Townhouses will be managed under the patio homes HOA. The Articles of HOA Incorporation and CCR's will be submitted upon approval of final plat. The HOA's will be controlled and managed by the *"Declarant"* until the project is 85% sold and turned over to the homeowners.

The community HOA will be responsible for maintaining all open space, common areas, trail system, private drives on flag lots, condominium trash service, landscaping and irrigation system, water well and delivery system, maintenance on all open space and common space areas, condominium parking areas, condominium grounds keeping, commercial center/ community center parking areas and grounds keeping around that facility. Street lights in and around the condominiums and commercial center/ community center parking areas will be maintained by the community HOA.

Public Streets, sidewalks, fire hydrants, water, sewer, effluent lines, lift station, delivery system facilities and all infrastructure related, owned and operated by the City of Cottonwood, will be maintained, repaired, and operated by the City of Cottonwood.



# **PRELIMINARY DESIGN REPORT**

## **MASTER WATER AND SEWER STUDY**

*for:*

**Vineyards at Cottonwood Subdivision  
Cottonwood, Arizona**

*Prepared for:*

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**KWE #15-078**

**May 18, 2016**



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### Attachment

#### The Vineyards at Cottonwood – Master Water and Sewer Plan

### Appendix

#### Appendix A:

Existing Sewer System Capacity Calculation Summary Sheets

#### Appendix B:

Rating Table for 8-inch Pipe – Full Flow Capacity  
 Rating Table for 10-inch Pipe – Full Flow Capacity  
 Rating Table for 12-inch Pipe – Full Flow Capacity





**I. GENERAL LOCATION AND DESCRIPTION****A. Location**

The subject site consists of multiple parcels totaling approximately 101 acres in Cottonwood, Arizona. Access to the site is from Groseta Ranch Road east of State Route 89A. The site occupies portions of the Southwest Quarter of Section 28, the Southeast Quarter of Section 29 and the Northwest Quarter of Section 33, Township 16 North, Range 3 East Gila and Salt River Meridian, Yavapai County. The subject site is bound on the north by Pine Shadows Subdivision; on the north and east by Annas Avenue, Groseta Ranch Road/Yuma Street and On the Green Subdivision, on the east by various privately owned metes and bounds parcels and Verde Heights Plat 2 Subdivision; on the south by privately owned metes and bounds parcels; on the west by State Route 89A (SR 89A) right of way (ROW).

**B. Description of Property**

The Vineyards at Cottonwood Subdivision is a proposed residential Planned Area Development (PAD) on ±101-acres consisting of approximately 555 lots (see Master Water and Sewer Plan). The property is comprised of various adjoining parcels owned by the same owner, all of which are located within the City of Cottonwood corporate limits. The assessor's parcel numbers (APN) for the parcels are 406-23-036V, 036W, 174B, 174C, and 406-32-080P. Groseta Ranch Road divides parcels 036V and 036W on the north from the remaining parcels. The parcels are located in gently easterly sloping (slopes less than 5%) terrain with various existing ravine drainage ways that also flow easterly. Current City of Cottonwood development standards would apply to development of this land.

The conceptual layout consists of various development densities and lot layouts. The preliminary lot layout that this study is based on was created in several development phases which are subject to change based on demand and market performance. The initial phase is planned to be a mixture of single family residential lots and one condominium totaling approximately 46 dwelling units (38 lots, 8 condominiums). Phase 1 is located north of Groseta Ranch Road between Annas Avenue and SR 89A. The proposed layout consists of a looping road off of Annas Ave with the land on the outside of the loop divided as single family lots and the land on the interior used for condominium development.



## II. WATER AND SEWER

### A. Water System

#### 1. Existing/Proposed Facilities

The proposed subdivision will be served water from the City of Cottonwood's existing water system. A 12-inch water main exists on the easterly side of the SR 89A ROW adjacent to the site. This water main is relatively new and was constructed in 2010-2011. It is assumed that this 12-inch main will provide adequate water volume and pressure to all phases of development for the Vineyards at Cottonwood project in accordance with ADEQ Engineering Bulletin No. 10 "Guidelines for the Construction of Water Systems", Chapter 7, Section C2, which states that "The normal working pressure in the distribution system should be approximately 75 PSI and not less than 40 PSI."

#### 2. Point of Connection(s)

This project will likely ultimately connect to the existing 12-inch main in SR 89A ROW at multiple points, extending easterly into a looping water network to provide water service to the various development phases. The initial point of connection will be to serve phase 1 and will be located approximately 350 feet northerly of the intersection of SR 89A/Groseta Ranch, at a ground elevation of about 3515. An 8-inch water main would be extended easterly to the phase 1 ROW where it would split and loop around to Annas Ave. Additionally, an 8-inch main would be extended southerly in Annas Ave to Groseta Ranch Road for connection for future Vineyards at Cottonwood phases. It is anticipated that 8-inch mains will be adequate to supply fire flows and water service for phase 1. The existing elevations of phase 1 vary from about 3485 to 3515.

#### 3. Requirements for Service

The proposed 555 dwelling unit (DU) subdivision will generate the following estimated water flows using design parameters of 2.5 people per DU and 100 GPD per person.

Average Daily Flow (ADF) =  $555 \text{ DU} \times 250 \text{ GPD/DU} = 138,750 \text{ GPD} = 96.4 \text{ GPM}$

Maximum Daily Flow =  $2 \text{ ADF} = 192.7 \text{ GPM}$

Maximum Hourly Flow =  $3 \text{ ADF} = 289.1 \text{ GPM}$



The minimum flow requirement for new fire hydrants is assumed to be 1500 GPM at 20 PSI residual pressure. It is assumed that the existing 12-inch main will provide adequate flow and pressure to this proposed development. Phased development may cause the need for additional points of connection to meet fire flow requirements. Also, longer non-looping segments of water main may need to increase to 12-inches to achieve required fire flows.

## **B. Sewer System**

### **1. Existing Facilities**

The City of Cottonwood operates a gravity sewer collection system to the east of the proposed Vineyards at Cottonwood Subdivision. The existing sewer system drains through a system of 8-inch sewer pipes, to a trunk main in Main Street and Yavapai St. The trunk main drains easterly in Yavapai Street, southerly in 3<sup>rd</sup> Street, easterly in Pinal, northerly in 5<sup>th</sup> and overland to 10<sup>th</sup> street, easterly in 10<sup>th</sup> Street to Riverfront and easterly in Riverfront to a sewer lift station. Several reports indicate that the trunk main transitions from 10-inch to 12-inch in 10<sup>th</sup> street, while the most recent ProPipe report (2015) indicates that the trunk main changes from 10-inch to 12-inch near the intersection of Main/Yavapai Streets. The lift station pumps effluent to another lift station (#4 per Coe & Van Loo report) adjacent to the City of Cottonwood Fire/Police Station, which pumps to the City of Cottonwood Water Reclamation Facility east of the Cottonwood Airport.

The proposed Vineyards at Cottonwood subdivision sewer system would connect to the existing network of 8-inch sewer mains near the intersection of Yuma Street/Kindra Heights Road. The new sewer would extend easterly down an existing drainageway beyond the subdivision eastern boundary approximately 0.3 miles to reach this point. This point of connection is upstream of the trunk main in Main Street which drains to the Riverfront lift station. Preliminary analysis indicates that the existing trunk main is adequate to serve the entire buildout (555 DU) for the Vineyards at Cottonwood project, (regardless of the actual location of the transition point between 10-inch and 12-inch). However, the preliminary analysis also indicates that a portion of the existing 8-inch system will need to be up-sized to accommodate 555 DU's. The existing 8-inch pipe to be upsized is



located where the existing 8-inch system combines with the upstream flow from multiple existing developments, approximately between MH 3-1-7 to MH 3-4-7. Approximately half of the proposed DU's could be served using the existing 8-inch sewer mains. It is assumed that the existing capacity of the lift station is sufficient for the additional sewer flow from the proposed subdivision.

Existing sewer inverts and as-built slopes were not used for this preliminary analysis. For the purposes of this preliminary study, the analysis was conducted on the assumption that the critical flow capacity in the existing system is based on minimum allowable design slopes for 8, 10 and 12-inch sewers. The existing sewer system contains 8-inch, 10-inch and 12-inch pipe which will receive sewer flow from the entire Vineyards at Cottonwood Subdivision. Using the minimum allowable design slopes of 0.33%, 0.25% & 0.20% respectively, the full flow capacities of 8-inch, 10-inch and 12-inch sewer pipes are 313 GPM, 492 GPM, and 715 GPM respectively. Using the City's design criteria of 200 GPD or 0.139 GPM per DU (80 GPD per person and 2.5 people per DU) provides an average daily flow of  $\pm 77$  GPM for full buildout for the Vineyards at Cottonwood subdivision.

#### Projected Gravity Sewer Demands:

The following design parameters were used for predicting gravity sewer flows for the proposed subdivision:

- Average Daily Flow (ADF) per DU = 200 GPD/DU = 0.14 GPM/DU
- Peaking Factor per AAC R18-9-E301.D.1.b.i =  $(6.330 \times p^{-0.231}) + 1.094$   
The peaking factor was calculated for multiple locations, changing slightly due to the changing upstream population       $p = \text{upstream population}$
- Peak Flow = 163.26 GPM

Based upon the design parameters referenced above, Table A below lists the variable flow rates based on development at the maximum anticipated number of dwelling units.



TABLE A

	Projected Gravity Sewer Flow Rates (GPM)		
	Number of Dwelling Units	Average Daily Flow (ADF)	Peak Flow
Proposed Vineyards at Cottonwood	555	77	163
Existing	±768	71	150
Combined	1323	148	313

Appendix B contains reports showing the capacities of an 8, 10 and 12-inch pipes flowing full at varying slopes.



## **REFERENCES**

City of Cottonwood Wastewater Collection System Master Plan, Coe & Van Loo Consultants, Inc. Project No. 1.01.0154017, March 1, 2013

ProPipe Existing Sewer Inspection Report, "Vineyards Running Line – Cottonwood, AZ" December 24, 2015

ProPipe Existing Sewer Inspection Report, "2009 PROPIPE REPORT CCF12172015\_0001" February 27, 2009

ProPipe Existing Sewer Inspection Report, "2008 PROPIPE REPORT CCF12172015" May 28, 2008



# **APPENDIX A**

## **EXISTING SEWER SYSTEM CAPACITY CALCULATION SUMMARY SHEETS**



Subdivision	DWELLING UNITS	PER CAPITA	GPD/PER CAPITA	GPD/DU	ADF/GPD	ADF/GPM	PEAK FLOW
Pine Shadows	349	1.5	80	120	41,880	29.08	61.60
On the Green	300	1.5	80	120	36,000	25.00	52.95
Grey Fox Ridge	99	2.5	80	200	19,800	13.75	29.12
Kindra Heights	20	2.5	80	200	4,000	2.78	5.88
Vineyards at Cottonwood	<u>555</u>	2.5	80	200	111,000	77.08	163.26

1323 2658.5

#### EX 8" SEWER TO ± MH 3-2-7

PEAK FLOW-GPM 312.8213  
 Available GPM 313.1100  
 GPM-net 0.2887  
 Daily-net [GPD] 415.7994  
 PER CAPITA net 5.1975  
 DWELLING UNITS-net 2.0790  
 Trigger point (in lots) 557

PEAKING FACTOR= 2.11803

8" PIPE FULL FLOW CAPACITY @ 0.33% SLOPE=

10" PIPE FULL FLOW CAPACITY @ 0.25% SLOPE=

12" PIPE FULL FLOW CAPACITY @0.20% SLOPE=

APPROXIMATE SERVICE AREA	APPROX AREA [AC]	DU PER ACRE	DU	APPROX POPULATION	ADF/GPD	ADF/GPM	PEAK FLOW
CACTUS SEWER	75.44	2	150.88	377.2	30,176	20.96	43.74
VERDE HEIGHTS	72.4	3	217.2	543	43,440	30.17	61.84
YAVAPAI	26.41	4	105.64	264.1	21,128	14.67	29.85
MAIN	143.96	6.5	935.74	2339.35	187,148	129.96	251.70
				<u>3523.65</u>			

PEAKING FACTOR CS 2.08712  
 PEAKING FACTOR VH 2.050078  
 PEAKING FACTOR Y 2.034481  
 PEAKING FACTOR MAIN 1.936656

This information is based on sewer pipes flowing full with minimum allowable slopes and a dry weather peaking factor per AAC R18-9-E301.D.1.b.i



EX 8" SEWER MH 3-2-7 TO 3-1-7	
PEAK FLOW-GPM	356.5580
Available GPM	313.1100
GPM-net	-43.4480
Daily-net [GAL]	-62565.1467
PER CAPITA net	-782.0643
DWELLING UNITS-net	-312.8257
Trigger point (in lots)	242

EX 10" SEWER FROM MH 3-1-7 TO YAV	
PEAK FLOW-GPM	418.4020
Available GPM	491.6700
GPM-net	73.2680
Daily-net [GAL]	105505.8801
PER CAPITA net	1318.8235
DWELLING UNITS-net	527.5294
Trigger point (in lots)	1083



EX 10" SEWER FROM YAV TO 12"		EX 12" SEWER MAIN	
PEAK FLOW-GPM	448.2524	PEAK FLOW-GPM	699.9478
Available GPM	491.6700	Available GPM	715.1000
GPM-net	43.4176	GPM-net	15.1522
Daily-net [GAL]	62521.3634	Daily-net [GAL]	21819.2085
PER CAPITA net	781.5170	PER CAPITA net	272.7401
DWELLING UNITS-net	312.6068	DWELLING UNITS-net	109.0960
Trigger point (in lots)	868	Trigger point (in lots)	664



## **APPENDIX B**

**RATING TABLE FOR 8-INCH PIPE – FULL FLOW CAPACITY**

**RATING TABLE FOR 10-INCH PIPE – FULL FLOW CAPACITY**

**RATING TABLE FOR 12-INCH PIPE – FULL FLOW CAPACITY**



## Rating Table for 8" Circular Pipe - flowing full

### Project Description

Friction Method                      Manning Formula  
Solve For                              Discharge

### Input Data

Roughness Coefficient                      0.013  
Channel Slope                              0.33330 % → 313.11 gpm  
Normal Depth                              8.00 in  
Diameter                                      8.00 in

Channel Slope (%)	Discharge (gal/min)	Velocity (ft/s)	Flow Area (ft²)	Wetted Perimeter (ft)	Top Width (ft)
0.00000			0.35	2.09	0.00
0.10000	171.50	1.09	0.35	2.09	0.00
0.20000	242.54	1.55	0.35	2.09	0.00
0.30000	297.05	1.90	0.35	2.09	0.00
0.40000	343.01	2.19	0.35	2.09	0.00
0.50000	383.49	2.45	0.35	2.09	0.00
0.60000	420.10	2.68	0.35	2.09	0.00
0.70000	453.76	2.90	0.35	2.09	0.00
0.80000	485.09	3.10	0.35	2.09	0.00
0.90000	514.51	3.28	0.35	2.09	0.00
1.00000	542.34	3.46	0.35	2.09	0.00
1.10000	568.81	3.63	0.35	2.09	0.00
1.20000	594.11	3.79	0.35	2.09	0.00
1.30000	618.37	3.95	0.35	2.09	0.00
1.40000	641.71	4.10	0.35	2.09	0.00
1.50000	664.23	4.24	0.35	2.09	0.00
1.60000	686.02	4.38	0.35	2.09	0.00
1.70000	707.13	4.51	0.35	2.09	0.00
1.80000	727.63	4.64	0.35	2.09	0.00
1.90000	747.57	4.77	0.35	2.09	0.00
2.00000	766.99	4.90	0.35	2.09	0.00



## Rating Table for 10" SEWER FULL FLOW

### Project Description

Friction Method                      Manning Formula  
Solve For                              Discharge

### Input Data

Roughness Coefficient                      0.013  
Channel Slope                              0.25000 % = 491.67  
Normal Depth                              10.00 in  
Diameter                              10.00 in

Channel Slope (%)	Discharge (gal/min)	Velocity (ft/s)	Flow Area (ft²)	Wetted Perimeter (ft)	Top Width (ft)
0.00000			0.55	2.62	0.00
0.10000	310.96	1.27	0.55	2.62	0.00
0.20000	439.76	1.80	0.55	2.62	0.00
0.30000	538.59	2.20	0.55	2.62	0.00
0.40000	621.92	2.54	0.55	2.62	0.00
0.50000	695.32	2.84	0.55	2.62	0.00
0.60000	761.69	3.11	0.55	2.62	0.00
0.70000	822.72	3.36	0.55	2.62	0.00
0.80000	879.52	3.59	0.55	2.62	0.00
0.90000	932.87	3.81	0.55	2.62	0.00
1.00000	983.33	4.02	0.55	2.62	0.00
1.10000	1031.33	4.21	0.55	2.62	0.00
1.20000	1077.19	4.40	0.55	2.62	0.00
1.30000	1121.17	4.58	0.55	2.62	0.00
1.40000	1163.50	4.75	0.55	2.62	0.00
1.50000	1204.33	4.92	0.55	2.62	0.00
1.60000	1243.83	5.08	0.55	2.62	0.00
1.70000	1282.11	5.24	0.55	2.62	0.00
1.80000	1319.28	5.39	0.55	2.62	0.00
1.90000	1355.43	5.54	0.55	2.62	0.00
2.00000	1390.65	5.68	0.55	2.62	0.00



## Rating Table for 12" SEWER FULL FLOW

### Project Description

Friction Method                      Manning Formula  
Solve For                                Discharge

### Input Data

Roughness Coefficient                      0.013  
Channel Slope                                0.20000 % = 715.10 gpm  
Normal Depth                                12.00 in  
Diameter                                        12.00 in

Channel Slope (%)	Discharge (gal/min)	Velocity (ft/s)	Flow Area (ft²)	Wetted Perimeter (ft)	Top Width (ft)
0.00000			0.79	3.14	0.00
0.10000	505.65	1.43	0.79	3.14	0.00
0.20000	715.10	2.03	0.79	3.14	0.00
0.30000	875.81	2.48	0.79	3.14	0.00
0.40000	1011.30	2.87	0.79	3.14	0.00
0.50000	1130.67	3.21	0.79	3.14	0.00
0.60000	1238.59	3.51	0.79	3.14	0.00
0.70000	1337.83	3.80	0.79	3.14	0.00
0.80000	1430.20	4.06	0.79	3.14	0.00
0.90000	1516.95	4.30	0.79	3.14	0.00
1.00000	1599.01	4.54	0.79	3.14	0.00
1.10000	1677.06	4.76	0.79	3.14	0.00
1.20000	1751.63	4.97	0.79	3.14	0.00
1.30000	1823.15	5.17	0.79	3.14	0.00
1.40000	1891.97	5.37	0.79	3.14	0.00
1.50000	1958.38	5.56	0.79	3.14	0.00
1.60000	2022.61	5.74	0.79	3.14	0.00
1.70000	2084.85	5.91	0.79	3.14	0.00
1.80000	2145.30	6.09	0.79	3.14	0.00
1.90000	2204.08	6.25	0.79	3.14	0.00
2.00000	2261.34	6.41	0.79	3.14	0.00



**City of Cottonwood**  
**Vineyards at Cottonwood**  
**Yavapai County, Arizona**  
**Phase 1 Drainage Report**

January 2016

J2 Project Number: 15.0867

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Appendix G	Mescal Wash Letter of Map Revision
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## **Section 1: Introduction**

### **1.1 Purpose of Study**

The Vineyards at Cottonwood are a proposed development within the City of Cottonwood. The proposed development may include 185 – 200 single family homes, 115 – 120 patio homes, 115 – 120 town homes, and 320 apartments with 30% open space for drainage corridor and trail system. The purpose of this package is to document the hydraulic analysis and 100-year floodplain delineation for the five culvert crossings that converge into two major wash corridors at the downstream end of the project area.

This Technical Data Notebook (TDN) documents the updated detailed hydraulic modeling and study work maps.

### **1.2 Authority for Study**

J2 Engineering and Environmental Design (J2) was contracted by Kelley/Wise Engineering Inc. to complete the requirements. J2's Project Manager for this project is Jeff Holzmeister, P.E.

### **1.3 Project Location**

The proposed 100 acre development is located northeast of SR-89A between Pine Shadows Dr and North Verde Heights Road. The subject project includes the following parcels as defined by the Yavapai County Assessor's Office (APN 406-23-036V, 406-23-036W, 406-23-174, 406-23-036R, 406-23-080A, and 406-23-080H). The proposed development includes the dissolution of the 4 parcels 406-23-036W, 406-23-174, 406-23-036R, and 406-32-080A into 3 parcels. The following figure shows the new parcel formation. The proposed development will occur on parcels A, B, C1 and C2. Parcel D will remain under the current owner.

Figure 1.1 below shows the Project Location Map.



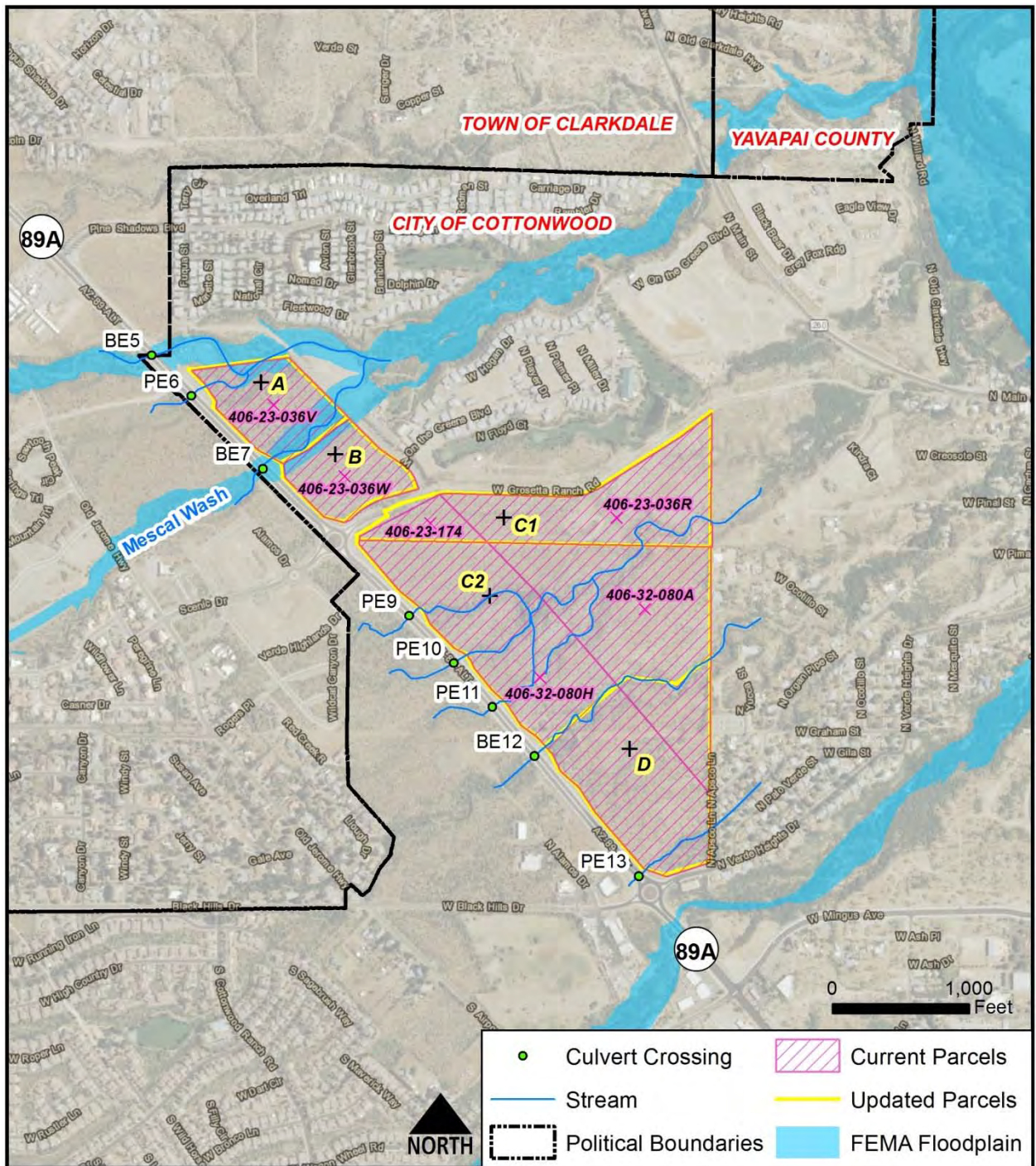


Figure 1.1 - Project Location Map



#### 1.4 Methods of Analysis

##### Hydrology:

Hydrology was obtained from the SR89A – Cement Plant Road to Black Hills Drive Final Drainage Report prepared by Primatech in August 2008.

##### Hydraulics:

Hydraulic analyses and floodplain delineations were performed using HEC-RAS version 4.1. HEC-RAS input data and floodplain delineations were prepared using the HEC-GeoRAS extension for ESRI GIS version 10.1.



## **Section 2: Survey and Mapping Information**

### **2.1 Digital Projection Information**

All survey data was collected using vertical datum of NAVD 88 and horizontal datum defined by Kelley/Wise Engineering Inc. Data was converted to NAD1983 State Plane Arizona Central (International Foot) by applying a transformation of the coordinates consisting of adding 611,744' to the Easting and 1,313,953' to the Northing.

### **2.2 Mapping**

The updated detailed mapping consists of 1' contour interval mapping from a flight date of December 8, 2015, performed by AeroTech Mapping (ATM) under ATM project number P1215-126.



## Section 3: Hydrology and Hydraulic Analysis

### 3.1 Hydrology

Hydrology was not updated per this study. Hydrology was obtained from the SR89A – Cement Plant Road to Black Hills Drive Final Drainage Report prepared by Primatech in August 2008, which is included in Appendix F. Primatech reviewed discharges from a previous study by Arizona Department of Transportation (ADOT) using United States Geological Survey (USGS) regression equations. HEC-1 modeling was used for the basins with the drainage area near or exceeding 0.25 square mile. The basin delineation is shown below in Figure 3.1 and is also included in Appendix F.

Discharges were reviewed using the current 1997 USGS regression 100-Year discharge equation as shown below, which is outlined in the USGS Southwest Regression manual in Appendix H. Table 3.1 shows the summary of discharges. Column 3 shows the discharges produced in the previous ADOT study. Column 4 shows the discharges used in this hydraulic study produced by Primatech. Column 5 shows discharges produced using the referenced equation which serve as a check. It should be noted that the regression equation has an average standard error of prediction of 39%. The discharges for the larger basins (BE5, BE7, and BE12) differ greatly, which is reasonable because the HEC-1 model is much more detailed than the regression results. The discharges are reasonably similar in the smaller basins.

$$Q_{100(cfs)} = 10^{6.55 - 3.17(AREA)^{-0.11}} (ELEV/1000)^{-0.454}$$

*AREA = Drainage area in mi<sup>2</sup>*

*ELEV = Mean basin elevation in ft*

1	2	3	4	5
Culvert	Drainage Area (mi <sup>2</sup> )	100-Year Discharge		
		ADOT	Primatech	1997 Regression
BE5	1.10	2108	921	1414
PE6	0.08	160	160	126
BE7	7.66	5085	3020	5089
PE9	0.07	129	128.5	113
PE10	0.07	129	128.5	113
PE11	0.11	185	185	179
BE12	0.70	1025	542	984
PE13	0.08	146	146	126

Table 3.1 – Summary of Discharges



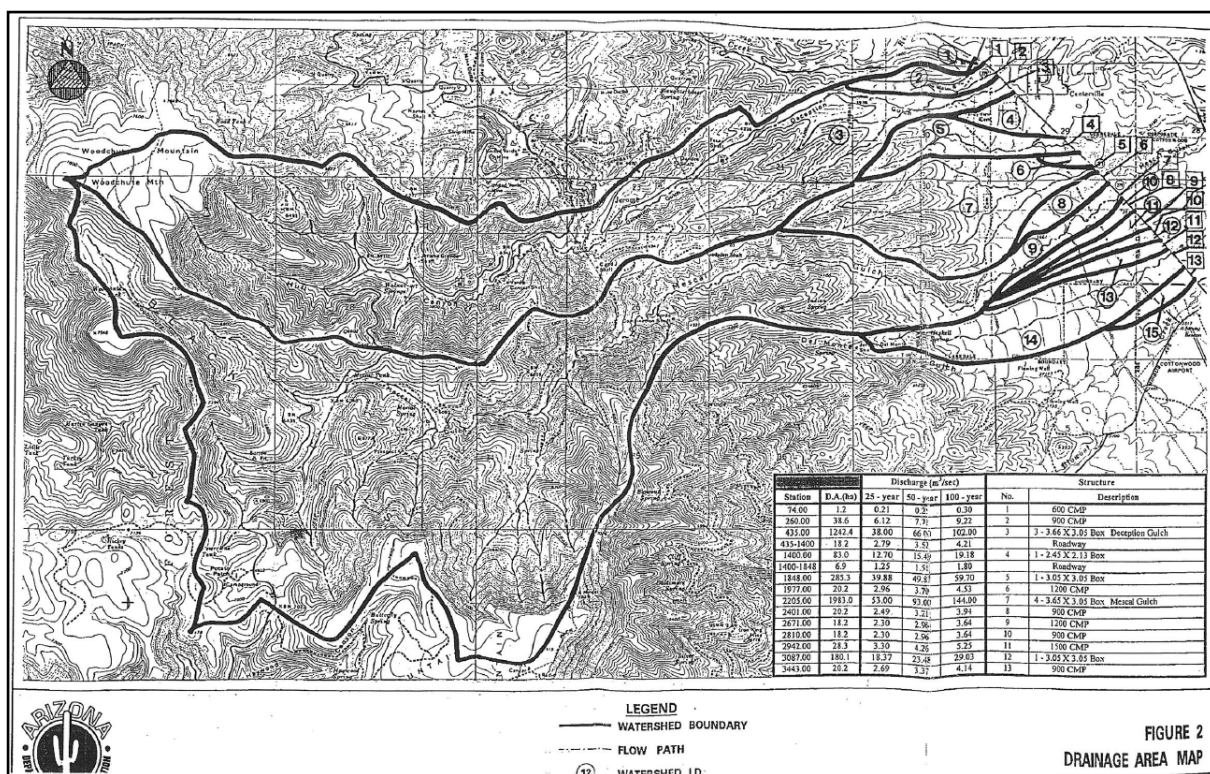


Figure 3.1 – Basin Delineation

### 3.2 Study Work Maps

The floodplain delineations are presented at a scale of 1" = 200' with the 1-foot contour interval topography and a rectified aerial photographic background on 24" x 36" sheets. The study work maps are on the North American Vertical Datum of 1988 (NAVD 88) and include: cross-section locations, parcels, floodplain water surface elevations, floodplain boundaries, and road names. The full-size sheet is located in the appendix.

### 3.3 Parameter Estimation

#### 3.3.1 Roughness Coefficients

Manning's roughness coefficient (n value) describes the friction attributable to the channel, banks, and overbanks areas. The majority of the vegetation in this area is characterized as chaparral. N values for the vegetated areas were varied based on the density of the vegetation. Table 3.2 below shows the n values used.



Landuse	N value
Roadway/Pavement	0.015
Light Vegetation	0.045
Medium Vegetation	0.055
Heavy Vegetation	0.075
Golf Course	0.03
Bare Ground	0.035
Channel	0.045
Small Lot Residential	0.055

Table 3.2 – Manning’s n Values

### 3.3.2 Expansion and Contraction Coefficients

Typical values of 0.3 and 0.1 for areas away from structures (fairly uniform floodplain width) were used for expansion and contraction coefficients. Values of 0.5 and 0.3 were applied for culvert expansions and contractions.

## 3.4 Cross Section Description

Cross sections were placed at significant locations, including bends in the stream, contraction and expansion regions near culverts, and along any ridgelines transverse to the flow. Cross sections were spaced no farther than 350 ft apart in more uniform regions of channel.

## 3.5 Modeling Considerations

### 3.5.1 Hydraulic Jump and Drop Analysis

No significant hydraulic jumps and drops exist within this study reaches.

### 3.5.2 Bridges and Culverts

The bridge and culvert options within the HEC-RAS program were utilized to model the existing culverts in this study. Eight (8) culverts were modeled in this study, as shown in Table 3.3 below. Refer to the previous Figure 1.1 for culvert locations. The ADOT SR-89A plans are contained in Appendix F



Name	Type	Length (ft)	100Yr Flow (cfs)	Upstream Invert (ft)	Downstream Invert (ft)
BE5	1-10'x10' RCBC	168	921	3512.76	3504.42
PE6	1-4' CMP	135	160	3513.04	3508.67
BE7	4-12'x10' RCBC	104	3020	3503.66	3501.66
PE9	1-4' CMP	125	128.5	3498.19	3495.75
PE10	2-3' CMP	175	128.5	3486.84	3482.09
PE11	1-5' CMP	120	185	3482.58	3480.89
BE12	1-10'x10' RCBC	114	542	3474.16	3470.56
PE13	3-3' CMP	107	146	3477.97	3475.83

Table 3.3 – Culvert Summary

### 3.5.3 Levees and Dikes

No levees are present within the modeling area.

### 3.5.4 Non-Levee Embankments

No non-levee embankments were modeled in this study.

### 3.5.5 Islands and Flow Splits

Small islands (dry areas within the floodplain measuring less than one acre and where the ground is less than one foot above the water surface) are included as part of the floodplain.

### 3.5.6 Ineffective Flow Areas and Blocked Obstructions

Ineffective flow areas were modeled near culvert crossings where flow contracts upstream of the structure and expands downstream of the structure. In these cases, a contraction rate of 1:1 was used upstream of the culvert and an expansion rate of 4:1 was used downstream of the culvert.

Blocked Obstructions were evaluated for the modeling of buildings. No buildings were within flooding limits after the initial modeling, negating the need to model blocked obstructions.

### 3.5.7 Supercritical Flow

The natural slopes in this project area are naturally steep and supercritical flow does occur. HEC-RAS models were run using a subcritical flow regime.



### 3.6 Issues Encountered During the Study

#### Modeling Warning and Error Messages

The HEC-RAS models contain some non-critical warning and error messages. The majority of them are related to the conveyance ratio and velocity head differences between cross sections exceeding the standard HEC-RAS values. These warnings are deemed insignificant since they do not have any impact on the floodplain modeling results.

### 3.7 Calibration

No hydraulic calibration of the model was performed during this study.

### 3.8 Final Results

#### 3.8.1 Hydraulic Analysis Results

All culverts along SR-89A pass the 100-year flow. The stream downstream of culvert PE13 overtops and ponds up on the West side of Aposco Ln. The HEC-RAS cross section and profile plots, as well as summary profile tables are included in the Appendix. Figure 3.2 below shows the preliminary floodplain results.



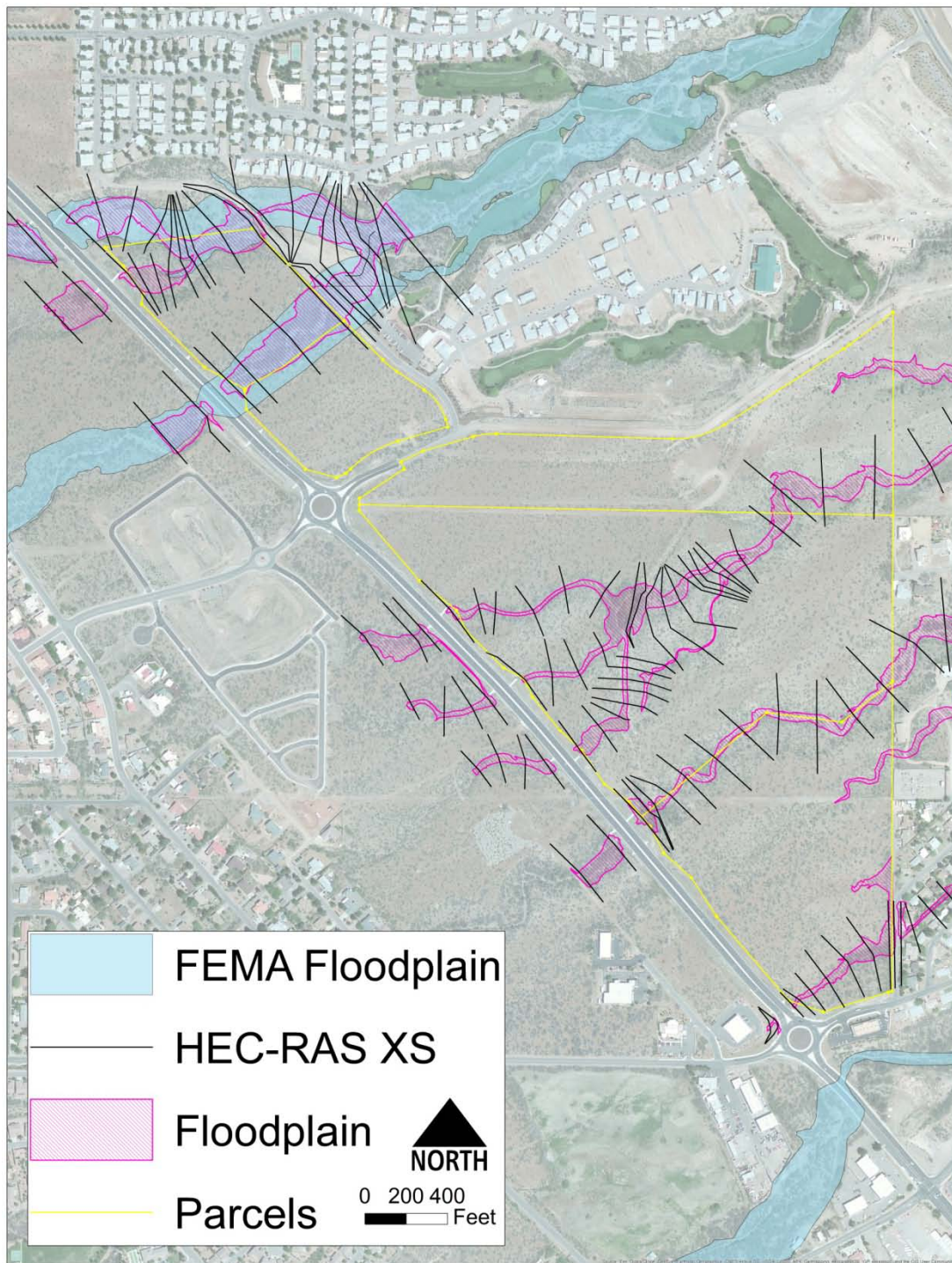


Figure 3.2 – Preliminary Floodplain Results



### 3.8.2 Verification or Comparison of Results

Mescal Wash is located North of Groseta Ranch Rd. A Letter of Map Revision (LOMR) for Mescal Wash (which flows through culvert BE7) on the west side of SR89A became effective on December 8, 2011. The downstream end of the LOMR intersects with the upstream end of this study. A comparison was done using the effective profile of the wash and is shown below in Figure 3.3. The main reason for these differences is most likely due to the updated topographic mapping.

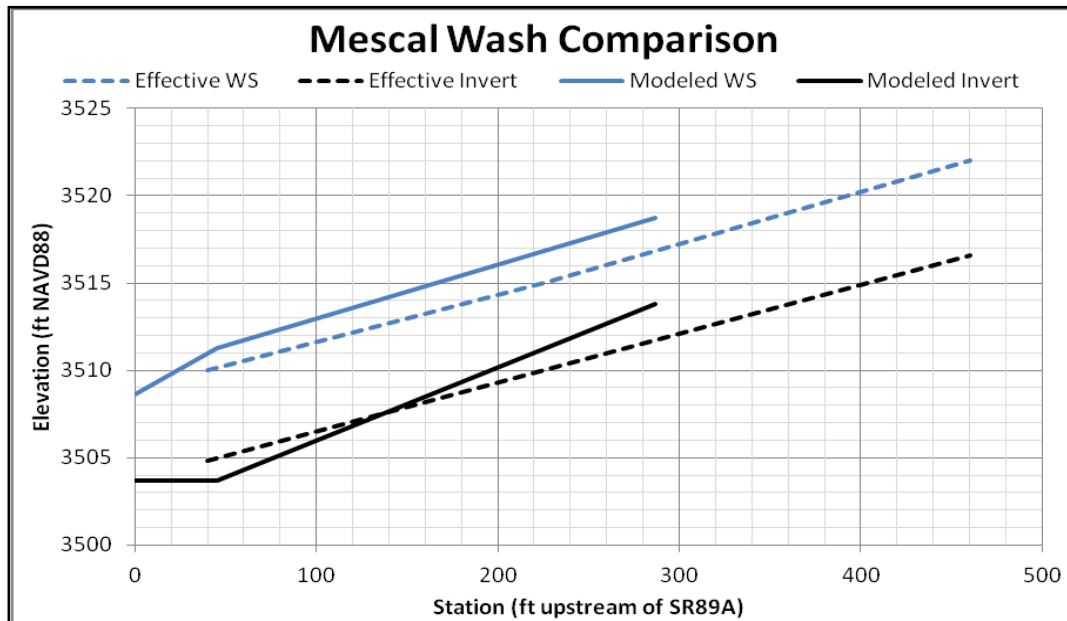


Figure 3.3 – Mescal Wash Water Surface Elevation Comparison





**ENGINEERING & TESTING CONSULTANTS INC.**

December 28, 2015

Mr. KJ Kasun  
Granite Mountain Asset Management  
7765 N. Williamson Valley Road  
Prescott, Arizona 86305

**SUBJECT: PRELIMINARY SUBSURFACE SOIL EXPLORATION FOR GROSETA RANCH ROAD PARCELS, COTTONWOOD, ARIZONA**

Dear Mr. Kasun:

Engineering & Testing Consultants, Inc., (ETC) has completed a limited subsurface soil exploration throughout the above referenced properties. The purpose of this exploration was to determine general subsurface soil/rock conditions that may affect site development.

A more detailed description of the subsurface soils encountered by the test borings is shown on the boring logs included in Appendix A.

**Site Conditions**

The properties are generally located on the north/northwest and south/southeast sides of Groseta Ranch Road, on the east/northeast side of State Route 89A.

Topography typically consists of mildly sloping grades with a moderate amount of brush throughout. However, a large drainage channel is located northwest of Groseta Ranch Road. Our borings on this side of Groseta Ranch were located between the large drainage channel and Groseta Ranch Road.

**Subsurface Soil Conditions**

ETC performed five exploratory test borings at locations located for us during our site visit by Mr. Michael Foster with Granite Mountain Asset Management.

**GEOTECHNICAL ENGINEERING • SOILS & MATERIALS TESTING • SPECIAL INSPECTION**

**417 NORTH ARIZONA AVENUE • PRESCOTT, ARIZONA 86301  
928-778-9001 • FAX 928-778-4866**





Mr. KJ Kasun – Granite Mountain Asset Management  
Subsurface Soil Exploration – Groseta Ranch Road and S.R. 89A, Cottonwood, AZ  
December 28, 2015  
Page 2 of 4

The subsurface soils encountered typically consist of clayey sand and gravel with varying amounts of cobbles and occasional boulders (Unified Soil Classification SC & GC). The rocky subsurface soils are typically dense to very dense. The upper soils also contain a moderate amount of low to medium plasticity clayey fines.

In Boring B-2, drilled in the north portion of the property on the northwest side of Groseta Ranch Road, southeast of the first large wash. This boring encountered a light brown to white, hard, sandy clay (CL) at a depth of approximately 4 feet, to depths explored, 10 feet. Similar, hard clay soil was also encountered in the east boring, B-3, drilled on the south side of Groseta Ranch, at 2.75 to 6.5 feet depth. The clay soil encountered 2 was hard, and typically low in plasticity.

Bedrock was not encountered by the test borings, to the depths explored, 10 feet below existing grade.

A more detailed description of the subsurface soils encountered by each of the test borings is shown on the boring logs included in Appendix A.

#### **Laboratory**

Atterberg limits, gradation, and moisture content laboratory testing was performed for two selected soil samples collected during the field operation. A summary of the laboratory test results is presented below in Table 1. Laboratory testing was performed in accordance with applicable ASTM standards.

As shown in Table 1, the soils tested have a low to medium plasticity. The clay soil from Boring B-2 was tested. However, this more fine-grained soil was only encountered in two of the test borings, B-2 and B-3.

**TABLE 1  
SUMMARY OF LABORATORY TEST RESULTS**

Boring	Depth (feet)	Liquid Limit (percent)	Plasticity Index	Moisture Content (percent)	Fines Content (percent)	Gravel Content (percent)	Unified Soil Classification
B – 1	0 – 3	31	12	5.8	44	19	SC
B – 2	5 – 8	28	8	5.9	58	5	CL

ETC 9074





Mr. KJ Kasun – Granite Mountain Asset Management  
Subsurface Soil Exploration – Groseta Ranch Road and S.R. 89A, Cottonwood, AZ  
December 28, 2015  
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### **Site Development**

As discussed herein, dense to very dense, rocky material was typically encountered throughout the property. Any significant excavations in the dense material will likely require the use of larger equipment, such as excavators and dozers.

- Loose soil, which would require over-excavation and compaction prior to fill placement, was not encountered. The soils were found to be medium dense to dense near the surface.

The fine-grained clayey soil encountered by borings B-1 and B-3 will likely may require a somewhat increased pavement structural section for collector roads, where encountered at pavement subgrade elevations.

Due the very dense, rocky material encountered, consideration may be given to utilizing screened fill material within the upper portion of building pads. This would provide more favorable excavation conditions during construction for completion of foundations, plumbing trenches, and other shallow excavations.

*The on-site soils encountered will be adequate for use in site grading, provided that larger cobbles and boulders which may limit adequate compaction are removed.*

During fill placement, coarse rock shall be adequately distributed to prevent “nesting” of larger rock pieces. An adequate amount of finer material must be mixed with the coarser material to create a dense fill without the creation of voids. Fill material with a large percentage of rock will still require significant water (sluicing) to promote fines migration and provide for long-term stability and a dense fill section.

### **Limitations**

The information provided in this report is only preliminary and not intended for construction. Any contractor reviewing this report must draw his own conclusions regarding site conditions and specific construction techniques to be used on this project.

ETC 9074





Mr. KJ Kasun – Granite Mountain Asset Management  
Subsurface Soil Exploration – Groseta Ranch Road and S.R. 89A, Cottonwood, AZ  
December 28, 2015  
Page 4 of 4

For your use. Should you have any questions or concerns, please contact us at (928) 778-9001.

Sincerely,

**ENGINEERING & TESTING CONSULTANTS, INC.**



Expires 09/30/17

Michael P. Wilson, P.E.  
Project Engineer

Attachments: Appendix A

cc: ETC File No. 9074

ETC 9074





## **APPENDIX A**

### **FIELD EXPLORATION**

ETC 9074

Page A-1



This information pertains only to this boring and should not be interpreted as being indicative of the site.

<b>LOG OF BORING NO. B-1</b>					
 <b>ENGINEERING &amp; TESTING CONSULTANTS, INC.</b>		PROJECT: S.R. 89A & Groseta Ranch Road		PROJECT NO.: 9074	
		CLIENT: Granite Mountain Asset Management		DATE: 12-23-2015	
		LOCATION: S. Area - NW. side of Groseta		ELEVATION: ---	
		DRILLER: ETC		LOGGED BY: MPW	
DRILLING METHOD: Continuous Flight Auger					
DEPTH (feet)	Description	GROUP SYMBOL	SOIL TYPE	TEST RESULTS	Remarks
				<div style="display: flex; justify-content: space-between; font-size: 0.8em;"> <span>Plastic Limit</span> <span>Liquid Limit</span> </div> <div style="display: flex; align-items: center;"> <div style="flex: 1;"> <div style="border-bottom: 1px solid black; width: 100%;"></div> <div style="display: flex; justify-content: space-between; font-size: 0.7em;"> <span>Water Content -</span> <span>Penetration -</span> </div> <div style="border: 1px solid black; width: 100%; height: 10px; margin-top: 5px;"></div> </div> <div style="flex: 1; text-align: center;"> <div style="display: flex; justify-content: space-between; font-size: 0.7em;"> <span>10</span> <span>20</span> <span>30</span> <span>40</span> <span>50</span> </div> </div> </div>	
2	CLAYEY SAND WITH GRAVEL, brown, medium plasticity, some cobbles, occasional boulder, high clayey fines, Medium Dense	SC			
4	CLAYEY GRAVEL WITH SAND, brown, medium plasticity, with cobbles, occasional boulder, Medium Dense to dense	GC			
6	Decreased amount of coarse rock 6' to 9'				
8					
10	Boring terminated at 10 feet depth.				
12					
14					

Figure A-4



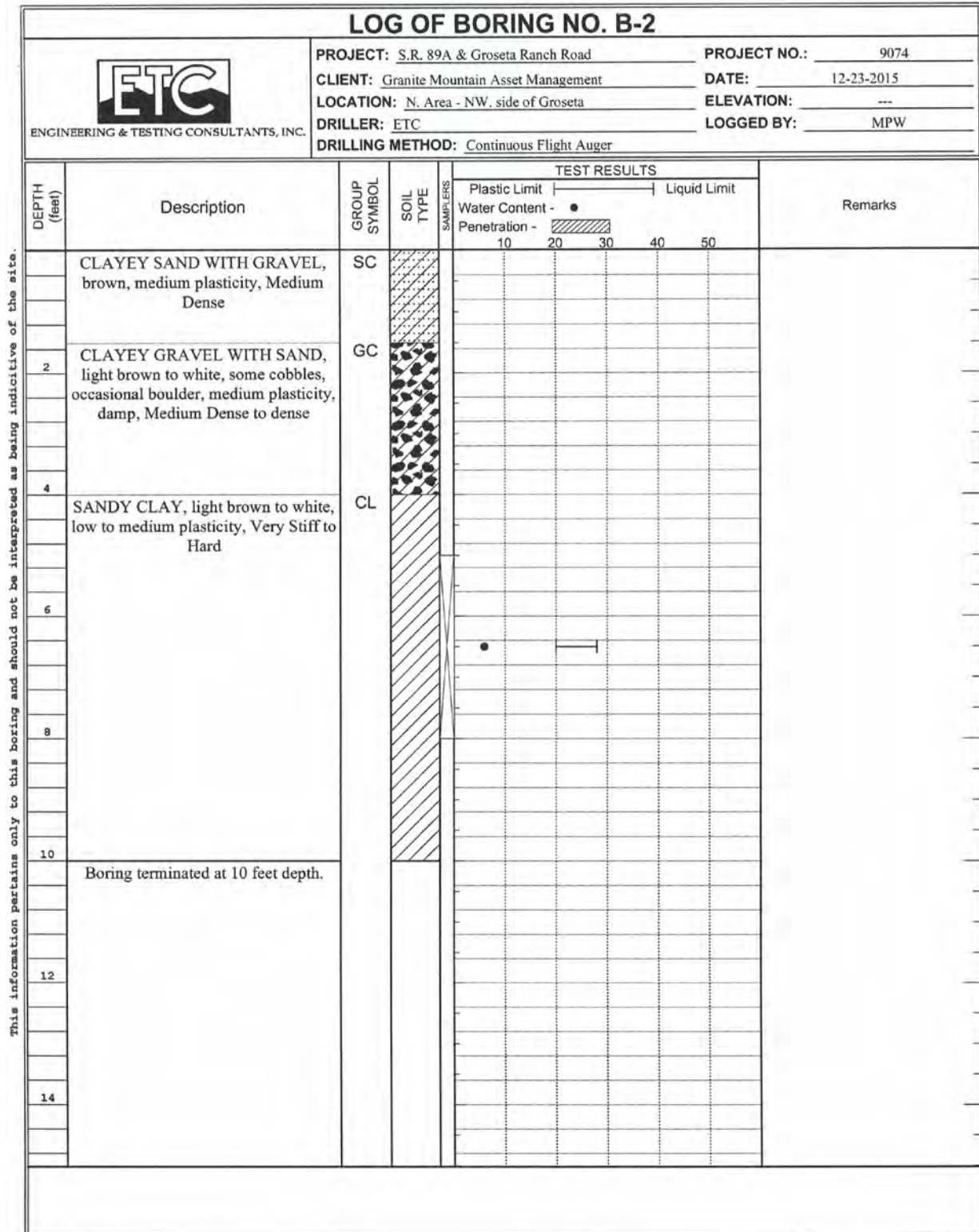


Figure A-5

PAGE 1 of 1



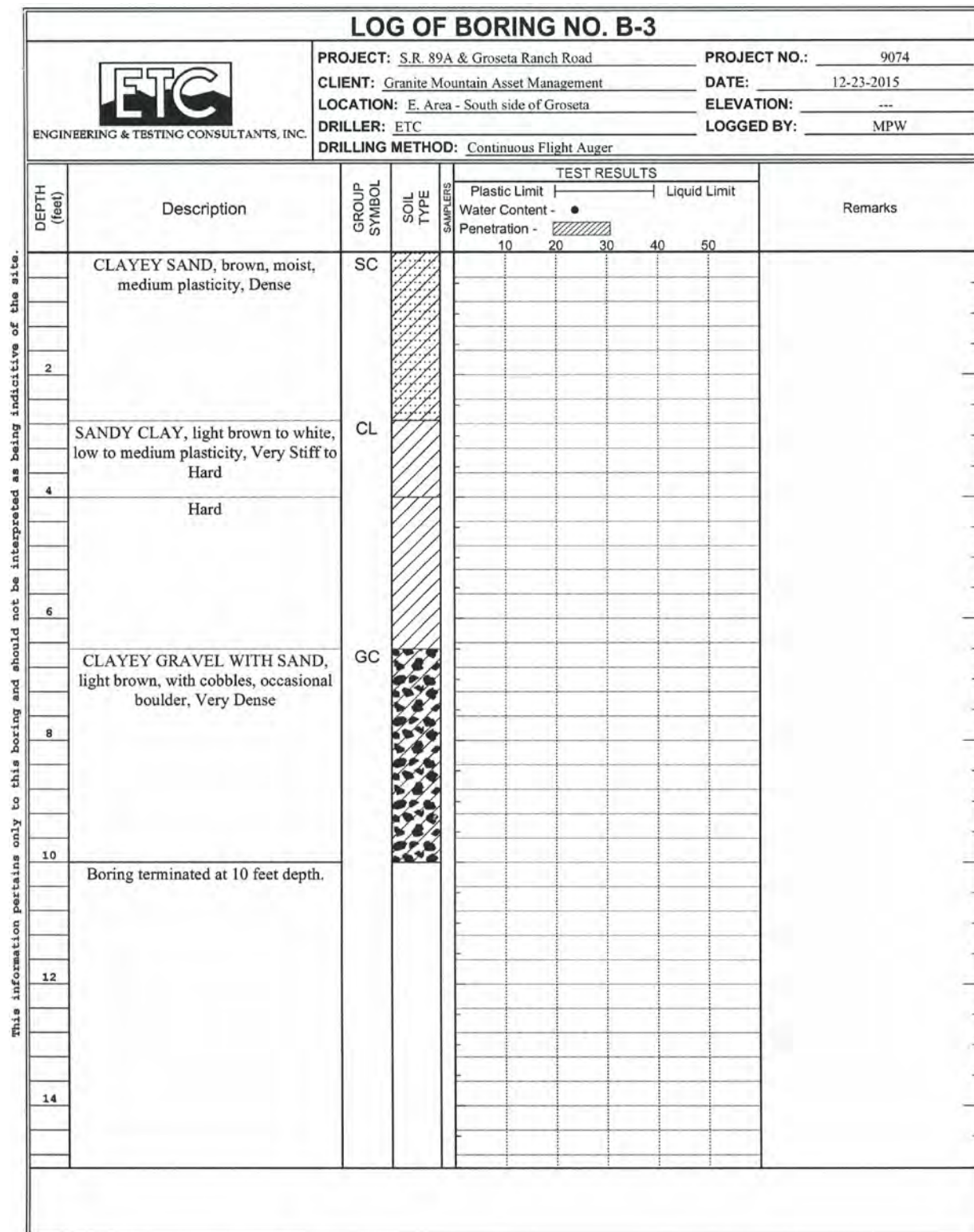



Figure A-6






LOG OF BORING NO. B-4						
 ENGINEERING & TESTING CONSULTANTS, INC.		<b>PROJECT:</b> S.R. 89A & Groseta Ranch Road <b>CLIENT:</b> Granite Mountain Asset Management <b>LOCATION:</b> S. Area - South side of Groseta <b>DRILLER:</b> ETC <b>DRILLING METHOD:</b> Continuous Flight Auger			<b>PROJECT NO.:</b> 9074 <b>DATE:</b> 12-23-2015 <b>ELEVATION:</b> --- <b>LOGGED BY:</b> MPW	
DEPTH (feet)	Description	GROUP SYMBOL	SOIL TYPE	TEST RESULTS	Remarks	
				Plastic Limit ———— Liquid Limit Water Content - ● Penetration - ▨ 10 20 30 40 50		
2	CLAYEY SAND WITH GRAVEL, reddish-brown, damp-moist, medium plasticity, some cobble, medium to high clayey fines, Medium Dense to Dense	SC	▨			
	Less rock, 2.5'-3.25'					
4	CLAYEY GRAVEL WITH SAND, light dark brown, with cobbles, occasional boulder, Dense to Very Dense	GC	▩			
6						
8						
10	Boring terminated at 10 feet depth.					
12						
14						

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Figure A-7      PAGE 1 of 1



LOG OF BORING NO. B-5					
 ENGINEERING & TESTING CONSULTANTS, INC.		PROJECT: <u>S.R. 89A &amp; Groseta Ranch Road</u> CLIENT: <u>Granite Mountain Asset Management</u> LOCATION: <u>NW. Area - South side of Groseta</u> DRILLER: <u>ETC</u> DRILLING METHOD: <u>Continuous Flight Auger</u>		PROJECT NO.: <u>9074</u> DATE: <u>12-23-2015</u> ELEVATION: <u>---</u> LOGGED BY: <u>MPW</u>	
DEPTH (feet)	Description	GROUP SYMBOL	SOIL TYPE	TEST RESULTS	Remarks
	CLAYEY GRAVEL WITH SAND, reddish-brown, damp-moist, medium plasticity, some cobble, occasional boulder, Dense	GC		Plastic Limit ———— Liquid Limit Water Content - ● Penetration - 	
2	Light dark brown				
4					
6					
8	Medium Dense to Dense				
10	Boring terminated at 10 feet depth.				
12					
14					

This information pertains only to this boring and should not be interpreted as being indicative of the site.

Figure A-8



## KEY TO SYMBOLS

Symbol Description

### Strata symbols



Clayey sand



Clayey gravel



Low plasticity  
clay

### Soil Samplers

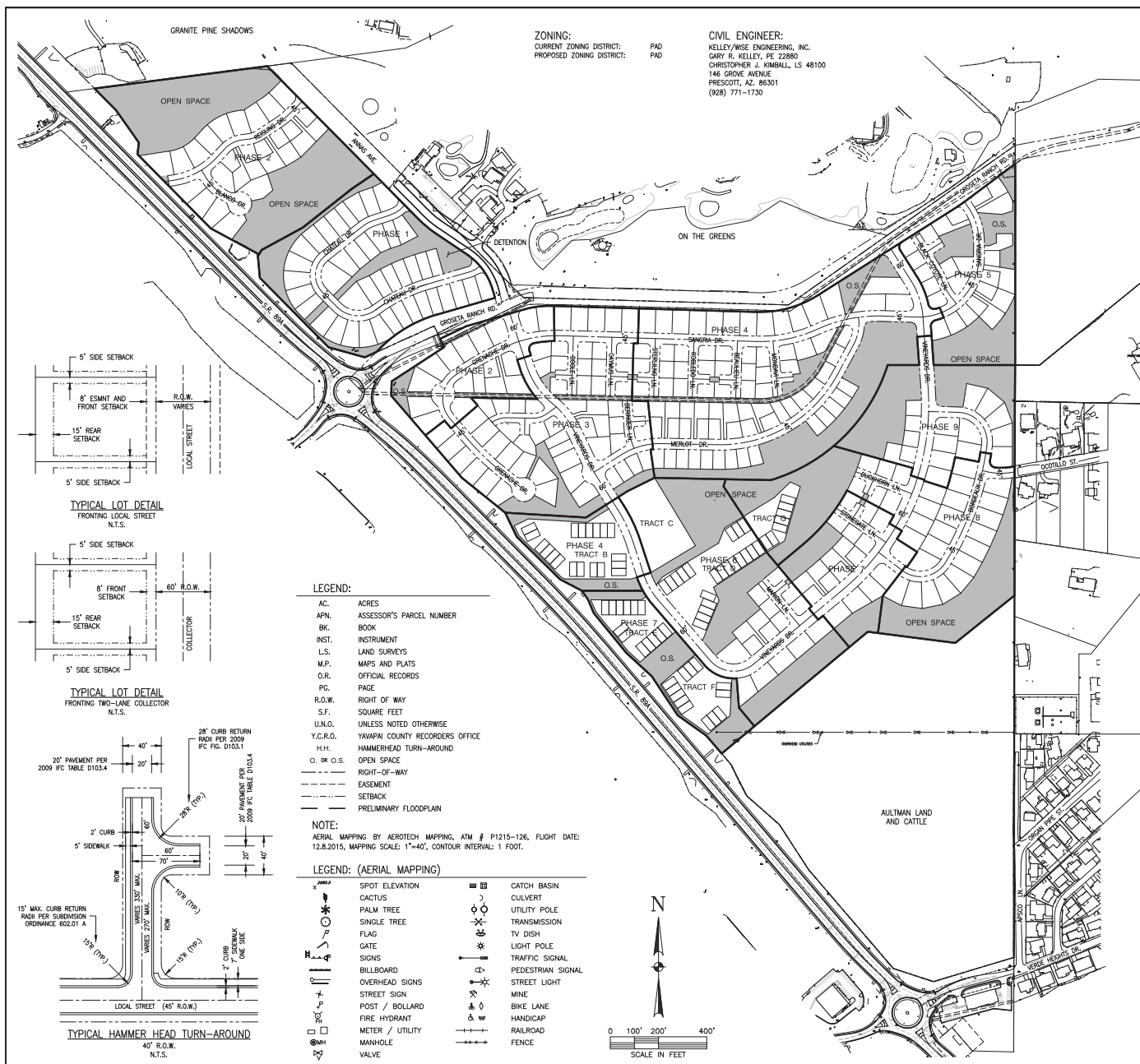


Bulk sample taken  
from 4 in. auger

### Notes:

1. Exploratory borings were drilled on 12-23-2015 using a 4-inch diameter continuous flight power auger.
2. No free water was observed at the time of drilling.
3. Boring locations were shown to us in the field.
4. These logs are subject to the limitations, conclusions, and recommendations in this report.
5. Results of tests conducted on samples recovered are reported on the logs.







## **Planning and Zoning Comments:**

### **CODE REVIEW BOARD Project: The Vineyards at Cottonwood March 15, 2016**

#### **BACKGROUND:**

In 2001, “The Vineyards at Cottonwood” property was rezoned to Planned Unit Development (PUD-C & PUD-R) Zone for the “Groseta Ranch Master Plan.” PUD zones city-wide were subsequently renamed Planned Area Development (PAD) Zone. That project did not proceed past the zoning approval process. The current proposal represents a substantially different project in terms of the general layout, the mix of uses, circulation and access. The current proposal includes rezoning with a new PAD Zone Ordinance and related Master Development Plan. All standard procedures for a change of zoning are applicable.

The 2001 “Groseta Ranch” project was planned for approximately 144 acres. The current proposal, the Vineyards at Cottonwood, will use approximately 100 acres of the former project area. Road development associated with On the Greens has reduced the project size by a number of acres. In addition, a new parcel, 28.53 acres in area, located to the south of the Vineyards at Cottonwood project will be removed from the current proposal. The cut out parcel has frontage on SR 89A, Verde Heights Drive and Apsco Lane, and is NOT included with the Vineyards at Cottonwood proposal. The 28.53 acre parcel will be retained by the current property owner for future development through a separate application process. Future planning, layout and use of the corner property at Verde Heights Drive and SR 89A will be through a separate process, at some future time, subject to separate zoning review, public notification and public hearings.

#### **MASTER DEVELOPMENT PLAN**

The requirement for a Master Development Plan (MDP) is part of the PAD Zoning process. Zoning Ordinance, Section 424. PAD Zone, describes the procedures and includes the outline for the MDP. Planned Area Development (PAD) zoning provides an opportunity for proposing a unique custom designed development project. In return for flexibility with zoning and development standards, the applicant is required to submit a separate Master Development Plan document that allows review of the overall proposal in a comprehensive and coordinated format, so as to allow the reviewing agencies an opportunity to determine compliance with objectives.

The MDP is a separate document, submitted in a ring binder format, that includes a detailed project narrative, supporting exhibits describing the proposed uses, development standards, design guidelines, project phasing data, maintenance responsibilities and other supporting documentation, as well as detailed graphic exhibits, including proposed site plan, landscape plan, building designs, and other project elements, as described in the PAD Zone section of the Zoning Ordinance.

#### **MDP Project Narrative:**

Section 424 PAD Zone provides an outline for the project narrative. This includes:  
Name and Contact Info.  
Data Summary.  
Project Objectives.



## **PROJECT SUMMARY AND PHASING**

- 7-10 year total project lifespan for build-out.
- 6 housing phases, each with roughly consistent mixes of single family, patio homes, and condominiums.

### **Total: (561 residential units)**

100 acres. Gross Density- 5.61 units per acre

- 104 single family homes
- 330 patio homes
- 95 row homes
- 32 condominium units
- 5 acres commercial development

### **Phase 1 (236 units)**

- Units 1-4
- 68 single family homes
- 136 patio homes
- 32 condominiums
- 2 acre organic farm with farmers market

### **Phase 2 (325 units)**

- Units 5-7
- 36 single family homes
- 194 patio homes
- 95 Row Homes
- Condominium exercise, social room and pool
- 3 acres commercial development

### **General Plan Review:**

The Applicant shall provide a written statement in the MDP describing how the proposed project conforms to the objectives of the Cottonwood General Plan.

**Staff General Plan Analysis:** The proposed PAD zoning is in conformance with the General Plan Land Use classification, which designates the Land Use classification for the subject property as Planned Development (PLD). The PLD Land Use classification in the Cottonwood General Plan 2025 supports the Planned Area Development (PAD) Zoning District designation. PAD Zoning supports a master planned approach to property development and encourages quality mixed-use development with integrated open space and natural lands preservation. The MDP is used to describe the details necessary to review the quality of the project.

### **Graphic Exhibits:** Typical Planning exhibits should include:

Site Plan

Topographic map

Phasing Plan

Housing Elevations/Renderings

Open Space & Landscape Plan.



**Property Development Standards:**

PAD Zoning allows the Applicant to propose unique standards for the project with the understanding that the project will include superior design and character. The MDP serves as the guide for documenting the unique standards for a project. The Applicant shall include all proposed standards, including narrative descriptions, charts and any graphic exhibits.

Typical property development standards may include: Setbacks, Parcel size, Lot coverage, Open space requirements, Parking and Driveway standards, and similar features.

**Design Guidelines:** Section 424.D.2.g. “Design Guidelines” provides information for documenting Design Guidelines. This includes a narrative section and graphic exhibits, as needed, to adequately describe typical design elements, materials and colors for buildings and site features. This typically includes statements and any guidelines to describe:

- General Guidelines.
- Architectural Theme.
- Building Design.
- Screening/Buffering from adjacent properties.
- Site Features: walls, entry signs.
- Landscaping.

**Screening and Buffering:**

1. Questions about how the project abuts to the existing homes and properties along a portion of the east boundary should be answered as part of the MDP. Will there be a masonry block wall? Landscaping? How close are the new homes to the existing homes on the neighboring properties and what is proposed along the boundary?
2. The treatment for housing facing on State Route 89A should be described and shown on plans. Area there walls, fences, or landscaping along the highway? Provide a cross section showing the grade change and relationship of the highway to the abutting single-family and multi-unit condominium at typical locations.

**Landscape Plan:**

A landscape plan for the overall development at this stage indicates general landscape and open space areas. This may include natural open space, drainage features, right-of-way areas, streetscape, pedestrian areas, walking paths, common areas, project entry features and residential areas, where applicable. A Landscape Plant table indicating categories, such as trees, shrubs and ground cover, is typically included. Strict adherence to drought-tolerant plant varieties is expected.

**Open Space Standards:**

There is an expectation that projects with PAD Zoning will include open space features as an integrated component of a quality master planned community. The ordinance describes open space as both natural and developed areas. For residential and mixed-commercial PAD development, the ordinance describes 30% minimum gross acreage, excluding public and private right-of-way.

**Parks and Community Amenities**

An open space plan needs to show various features, including park and recreation amenities, walking paths, flood and drainage areas, detention basins, developed common areas, landscaped areas, and preserved natural areas. Provide descriptions and typical details to help describe the character of such areas.



### Drainage and Washes.

Identification and preservation of washes and major drainage features in their natural condition is the preferred approach.

### Trails.

The goal of including walking trails in and around planned developments is described in the PAD Zone ordinance and MDP outline. The MDP should show the proposed location on map and describe basic design, surface treatment and any relevant details. The Subdivision plat would also include trail and walkway locations.

### **Circulation Standards:**

Existing streets include Groseta Ranch Road, providing access from the roundabout on State Route 89A, and Anna's Street connecting Groseta Ranch Road to On the Greens development.

### Traffic Impact Study:

Zoning Ordinance, Section 424. PAD Zoning indicates that a Traffic Impact Study (TIS) is required for residential development with 50 or more units proposed, including where part of larger phased development. The TIS need to be coordinated with the City Engineer. A summary of results would be included with the MDP.

### Access and Driveways:

All access points to the development need to be described as part of the MDP. Besides the roundabout at Groseta Ranch Road, any additional access or driveways from State Route 89A need to be coordinated with ADOT. The extension of Groseta Ranch Road from SR 89A to a point on N. Main Street above the Old Town area has been shown on the City's transportation street plan for many years; and is also indicated on the Cottonwood General Plan Circulation Element. The developer shall be responsible for completing those portions of the street, as specified within and adjacent to the project.

### Interior Circulation:

Describe typical streets, and include provisions for pedestrian and bicycle circulation. Cottonwood Area Transit (CAT) should be consulted for possible location/s of bus shelter, in the event that future transit routes would include a bus stop for the development

### **Statement of Water Use:**

Recognizing the importance of having a sustainable supply of water, the City of Cottonwood in 2009, obtained from the Arizona Department of Water Resources (ADWR) a "Designation of Adequate Water Supply" for 6,000 acre-feet of water annually, which is more than twice the volume of groundwater pumped in 2013. In order to obtain this designation, the City demonstrated to ADWR that 6,000 acre-feet of groundwater will be continuously available to be pumped from the aquifer for 100 years without causing the groundwater table to decline below a statutorily defined limit. By becoming a Designated Adequate Water Provider, all proposed subdivisions within the City's service area are designated as having a sustainable supply of water to meet their needs. Developers are not required to submit a separate hydrologic study to the State for the subdivision process, as the city-wide designation covers this requirement.



**Water Conservation Plan:**

The PAD Zone provides an opportunity to propose a comprehensive approach to water conservation for the development. The City ordinance requires greywater dual plumbing for all new residential units; however, the PAD Zone provides an opportunity to waive the dual plumbing requirement for individual residences in return for meeting objectives through a conservation program. Low water plumbing fixtures, use of City reclaim water, rainwater harvesting, drought-tolerant landscaping, or other innovative measures can be included in a water conservation plan.

**Development Phasing Plan:**

The project is proposed to be developed in Phases. The first phase includes residential development adjacent to the main project entry point at Groseta Ranch Road and SR 89A. Phasing of infrastructure is looked at on a case by case basis. The requirements for phased infrastructure development, including roads, water lines and wastewater systems, are determined by applicable departments based on system requirements. In some cases, extended infrastructure will need to be installed in the 1st Phase so as to meet operational or system requirements. Land development may occur in phases; infrastructure phasing needs to be determined as per system requirements.

**SUBDIVISION:**

The subdivision platting process is guided by the City's Subdivision Ordinance and State Statute. Subdivision is done through a separate application process that requires review and approval by the Planning and Zoning Commission and City Council. The zoning approvals for the proposed Planned Area Development project must be obtained first with subdivision of land to follow. A Preliminary Plat for the complete project is required to be approved by the Planning and Zoning Commission and City Council. Final Plats may be approved by the City Council in Phased sections.

1. **Condominium Plat:**

The condominium form or ownership is typically established through a separate subdivision platting process. Arizona Revised Statutes §§ 9-463 and 33-1201, et seq., and the Cottonwood Subdivision Ordinance, Article 8, Condominiums, address procedures and standards for condominiums. The question of how the 32 condominium units are established in relation to shared common areas needs to be addressed through the Subdivision process. It should describe how maintenance responsibilities for the undivided common interests are covered.

2. **Site Layout:**

The PAD zoning provides flexibility with typical lot layout requirements. Under standard zoning categories, the creation of all new parcels shall have minimum frontage on City streets. "Flag lots" also called "cherry stem lots," where lots have long driveways providing minimal street frontage at the driveway connection are not permitted as part of standard zoning districts, which require minimum street frontage width. Flag lots have the effect of creating isolated parcels along the street, difficult design challenges with residences essentially located in backyards, and street character defined by excessive driveways within a short section. Details are needed.



3. Flag Lot Home Orientation:

PAD Zoning allows consideration of flexibility with standards in return for providing a superior quality development. A typical detail showing how the homes are laid out on the “flag lots,” including the relationship and orientation of the street front units and rear flag lot units, needs to be shown. Driveways could potentially be shared through the use of easements so as to minimize the overall number of driveways.. Showing the design details for how these homes are laid out will help make the case for how the flag lots contribute to the neighborhood quality and character.

**Planning Comments:**

1. The application for PAD (Planned Area Development) Zoning requires submittal of a MDP (Master Development Plan,) as per Section 424 (PAD Zone) of the Cottonwood Zoning Ordinance. The MDP is specific to each PAD Zone project and will serve as the guide for development for this project for many years to come. For that reason the MDP is submitted in a ring-binder format and includes the final zoning details, property development standards and design review guidelines that become adopted in relation to the PAD ordinance.
2. As part of the Design Review guidelines, indicate architectural theme and product designs for housing types and phases, where applicable. Identify specific housing styles. Materials and colors are described as part of MDP. Lighting fixtures should be described.
3. Open Space and Landscape Plan: A separate plan should identify different types of open space features with estimates of area. Landscape plan describes plant types and general areas to be landscaped.
4. Provide information regarding any screening or buffering proposed along the east project boundary where lots are shown abutting existing properties, including any walls, fences, berms or landscaping.
5. Parking and Driveway Details. There are several parking lots shown. Descriptions of design details and number of spaces should be indicated. For single family units, describe off-street parking, including any covered spaces, setbacks from street and relation to home.
6. Provide information and graphic exhibits for the proposed layout of “Flag Lot” units, including the relationship and orientation between the street front dwelling units and the interior flag lot units. Options to minimize driveways should be considered. Typical layouts for the flag lot properties are needed so as to be able to adequately review the proposal.
7. Provide information on the treatment of residential properties abutting State Route 89A, including any proposed walls, fences or landscaping. Provide cross-section drawings where residential properties front on the highway showing relationship of highway to buildings in terms of grade change, as well as the location of any screening walls and landscaping. What does the view of the residential buildings look like from State Route 89A?





## City of Cottonwood

### Engineering Dept.

Date: July 8, 2016

Mr. Charles Scully  
City of Cottonwood  
111N Main St.  
Cottonwood, AZ 86326

RE: Vineyards @ Cottonwood Comments

Dear Mr. Scully:

The following comments pertain to Vineyards@ Cottonwood Master Development Plan, submitted to the City on June 20, 2016:

1. All public infrastructure (streets, water, sanitary sewer, storm drainage, reclaimed water, etc.) shall be constructed in accordance with the current edition of the Maricopa Association of Governments, Uniform Standard Details for Public Works Construction, Maricopa Association of Governments, Uniform Standard Specifications for Public Works Construction, Article 6 of the City of Cottonwood Subdivision Ordinance (06/07/OS) and generally accepted engineering principles. Additional requirements may be required at the discretion of the City of Cottonwood, Engineer.
2. Drainage improvements shall be designed in accordance with the Drainage Design Manual for Yavapai County and City Ordinances 172 & 615. Additional requirements may be required at the discretion of the City of Cottonwood, Engineer.
3. Public roads shall be a minimum of 30' wide back of curb to back of curb. Streets with a width less than 30' back of curb to back of curb shall be considered to be private streets and will not be publically maintained. If a street width of less than 30' back of curb to back of curb is desired, the minimum width shall be dictated by the requirements set forth by the City of Cottonwood Fire Department.
4. Time is of the essence for the construction of Groseta Ranch Road north to Main Street. Construction of the roadway extension shall be started as soon as practicable ensuring that the road is completely constructed and accepted by the City of Cottonwood no later than March 1, 2020. Failure to comply will result in ownership of the granted right of way reverting back to the property owner.
5. The Developer shall dedicate an Avigation Easement to the City of Cottonwood due to subject property's proximity to the Cottonwood Airport. This easement shall be identified on the subdivision plat.



If you have any questions or need additional information, please do not hesitate to contact me at 928.634.8033 or via e-mail at [rwieniecke@cottonwoodaz.gov](mailto:rwieniecke@cottonwoodaz.gov).

Respectfully,

A handwritten signature in blue ink, appearing to read 'RWieniecke', is written over a horizontal line.

Robert L. Winiecke, P.E., CFM  
Engineer





## **FIRE & MEDICAL DEPARTMENT**

**TO:** Berrin Nejad, Community Development Manager  
**FROM:** Rick Contreras, Fire Marshal  
**DATE:** June 28<sup>th</sup> 2016  
**SUBJECT:** The Vineyards at Cottonwood Subdivision Preliminary Requirements

### **GENERAL FIRE DEPARTMENT COMMENTS**

The Cottonwood Fire and Medical Department looks forward to working alongside the developer/contractor on this upscale subdivision project that will provide the most up to date current fire and life safety systems and code requirements within the State of Arizona. These features will provide our citizens and property with enhanced fire protection for many years to come. As a reminder, all plans and designs shall fully comply with the 2012 International Fire Code {IFC} and the 2012 International Building Code {IBC} and per the Cottonwood Fire Departments Conditions. Please review the comments that are listed below.

- A full complete set of detailed stamped plans shall be provided to the Cottonwood Fire & Medical Department for review and prior approval of all phases before the work is permitted to start.
- Any buildings that exceeds 30' of the vertical distance between the grade plane and the highest roof surface shall meet all the requirements of Appendix D section D105.

### **FIRE SPRINKLER & FIRE ALARM COMMENTS**

- Fire sprinklers shall be installed throughout the building{s} per NFPA 13 and all local regulations. The system shall be designed to meet the Hazard Class.
- Fire alarms shall be installed in all commercial and mixed use buildings per NFPA 72 and NFPA 70.

*Community risk reduction through:  
Experience – Education – Engineering - Enforcement*



## **FIRE HYDRANT AND FIRE FLOW COMMENTS**

- All plans, designs and fire flow calculations shall fully comply with the 2012 International Fire Code Appendix B and Chapter 5 of the IFC and per the Cottonwood Fire Departments Conditions.
- Fire hydrants and all water supply systems shall be installed, inspected, tested and accepted in accordance with all fire code requirements before any building materials and combustibles are allowed to arrive on site. Coordinate the installation and exact location of the fire hydrants with the Cottonwood Fire Marshal and the City of Cottonwood Utilities Department. {A reduction of fire hydrants and/or distance may be allowed} per appendix C of the IFC.

## **STREET / ACCESS / TURNAROUND COMMENTS**

- All road/street heights, widths, cul-de-sac and hammerhead turn around distance {s} shall meet the requirements in the 2012 International Fire Code appendix D and the City of Cottonwood conditions.
- A secondary approved temporary access road shall be installed before phase II construction is started. A permanent approved collector street accessing North Main Street shall be installed and fully accepted by the City of Cottonwood before phase II is 25% completed.
- Tract “G” and Tract “F” may not meet the requirements stated within appendix D table D103.4. Provide a detailed plan of these Tracts for review and approval.
- No parking will be allowed on any streets that are 20’ wide. Parking on one side of the road will be allowed on streets that are 26’ wide, except where Fire Hydrants are located.
- Fire lanes shall be provided and shall be a minimum of 20’ wide and have a vertical clearance of 13’6” and maintained within 150’ of any part of the building. 12”x 8” Red retro reflective Fire Lane signs stating “No parking by order of the Fire Marshal” shall be posted at every 75’. All curbs in the Fire Lane shall be painted red with 4” white letters stating “No Parking Fire Lane” painted on the curb face. Coordinate exact areas of signage requirements with the Cottonwood Fire & Medical Department.



### **MAPPING / ADDRESSING COMMENTS**

- All addressing and street names shall be coordinated and approved with the Cottonwood Fire & Medical Department Lieutenant Jeff Boyd. There may be some conflicts with the proposed street names that are currently listed. All requirements and conditions shall meet the conditions of Chapter 5 and appendix D of the 2012 IFC.

### **LANDSCAPING PLAN**

- At the gated entrance to the On the Greens subdivision {from Anna's Ave.}, The Cottonwood Fire and Medical Department has an emergency vehicle preemption signal device on the coded gate system that requires a clear visible path from Groseta Ranch Road in order to operate correctly. Please coordinate any future placement of trees and shrubs within this corridor that may prevent this device from working correctly.

### **FIRE MARSHAL DIRECT COMMENTS**

- We believe that this will be an outstanding project that will satisfy all of the Fire and Life Safety Code requirements throughout the entire subdivision. Our goal is to provide you {the developer} with outstanding customer service, and also provide our citizens with the safest living community as possible. We value your experience within the development/construction profession in Northern Arizona and look forward to hearing input from the developer so that we are all on the same page throughout this process.
- If there are any questions or comments, please feel free to contact the Cottonwood Fire Department at 928} 634-2741 or email rcontreras@cottonwoodaz.gov
- **These comments are preliminary, and final determinations, comments and approvals will be provided upon review of the final sets of plans submitted. No Certificate of Occupancy will be signed or issued by the Fire Marshal until all Fire Department conditions and requirements are fully met.**



## **VINEYARDS AT COTTONWOOD**

### **RECOMMENDED STIPULATIONS:**

Approved as per P&Z 7-18-16:

1. That the project conforms to the comments from the Code Review Board meeting of March 15, 2016.
2. That the project conforms to the Master Development Plan (MDP) as submitted. There shall be no more than 555 residential dwelling units provided for the complete project.
3. That the project conforms to comments received from the Fire & Medical Department dated June 28, 2016.
4. That the project conforms to the comments from Engineering Department dated July 8, 2016.
5. That the project conforms to the requirements of the Utility Department regarding installation of water and sewer improvements, including timelines, scheduling, standards and fees.
6. That the project conforms to the requirements of the Public Works Department regarding grading and drainage plans, stormwater management and street engineering.
7. A Traffic Impact Study (TIS) shall be submitted with Phase 2 plans, to be approved by staff and ADOT. All streets shall be built to City standards.
8. Indicate one (1) foot vehicular non-access easements for detached single-unit residential parcels abutting designated collector streets.
9. All site grading activity shall be subject to City requirements for dust control, including use of treated effluent for dust suppression.
10. For trails that are located along drainage washes, locate the trail tread along the top of slope and not within the floodway or drainage bottom. Indicate that trails shall be located within open space tracts or designated public access easements; and that the homeowners association shall maintain all park, open space and trail improvements.
11. The developer shall be required to submit all required future plans to the Planning and Zoning Commission for Design Review for all areas and features not included as part of the Master Development Plan, including any condominium development, multi-unit residential, town homes, commercial uses, community facilities, parks and trails, and project signs, as well as any additional or modified site features or building designs.
12. Provide landscape plans, as per Zoning Ordinance Section 407, for areas and uses subject to design review. Indicate that the homeowners association shall be responsible for maintaining the landscaping in public right-of-ways and other areas as proposed.



13. All public infrastructure (streets, water, sanitary sewer, storm drainage, reclaimed water, etc.) shall be constructed in accordance with the current edition of the Maricopa Association of Governments, Uniform Standard Details for Public Works Construction, Maricopa Association of Governments, Uniform Standard Specifications for Public Works Construction, Article 6 of the City of Cottonwood Subdivision Ordinance (06/07/OS) and generally accepted engineering principles. Additional requirements may be required at the discretion of the City of Cottonwood Engineer.
14. Drainage improvements shall be designed in accordance with the Drainage Design Manual for Yavapai County and City Ordinances 172 & 615. Additional requirements may be required at the discretion of the City of Cottonwood, Engineer.
15. Public roads shall be a minimum of 30' wide back of curb to back of curb. Streets with a width less than 30' back of curb to back of curb shall be considered to be private streets and will not be publically maintained. If a street width of less than 30' back of curb to back of curb is desired, the minimum width shall be dictated by the requirements set forth by the City of Cottonwood Fire Department.
16. No parking will be allowed on any streets (private) that are 20' wide. Parking on one side of the road will be allowed on streets that are 26' wide, except where Fire Hydrants are located.
17. All road/street heights, widths, cul-de-sac and hammerhead turn around distances shall meet the requirements in the 2012 International Fire Code appendix D and the City of Cottonwood conditions.
18. A secondary approved temporary access road shall be installed before phase II construction is started. A permanent approved collector street accessing North Main Street shall be installed and fully accepted by the City of Cottonwood before phase II is 25% completed.
19. Time is of the essence for the construction of Groseta Ranch Road north to Main Street. Construction of the roadway extension shall be started as soon as practicable ensuring that the road is completely constructed and accepted by the City of Cottonwood no later than March 1, 2020.
20. At the gated entrance to the On the Greens subdivision, from Anna's Ave., the Cottonwood Fire and Medical Department has an emergency vehicle preemption signal device on the coded gate system that requires a clear visible path from Groseta Ranch Road in order to operate correctly. Please coordinate any future placement of trees and shrubs within this corridor that may prevent this device from working correctly.
21. The Developer shall dedicate an Aviation Easement to the City of Cottonwood due to subject property's proximity to the Cottonwood Airport. This easement shall be identified on the subdivision plat.
22. A Certificate of Zoning Compliance documenting the completion of conditions of approval as specified by the Master Development Plan shall be issued prior to approval of any Certificate of Occupancy for the project. A Certificate of Zoning Compliance may be issued for individual Phases, as defined in the MDP.



23. The change of zoning shall remain in effect for three (3) years from the effective date of approval of the Ordinance by City Council. If at the expiration of this period the property has not been improved for the use for which it was conditionally approved, the City Council, after notification by certified mail to the owner and applicant who requested the rezoning, shall schedule a public hearing to take action to extend the approval period or cause the property to revert to its former zoning classification. The City Council may consider extending the rezoning for up to two (2) additional years where the applicant provides sufficient information to the City prior to the hearing to allow the City Council to make a determination that the applicant intends to proceed with the project within the approved timeframe.



3. **Z 16-002 VINEYARDS AT COTTONWOOD-** Request for rezoning from existing PAD (Planned Area Development) to a new PAD (Planned Area Development) for property located on approximately 100.81 acres east of State Route 89A and Gorseta Roach Road. APN: 406-23-036V, 406-23-036W, 406-23-174B, 406-23-174C, & 406-32-080P. Owner: The Vineyards at Cottonwood I LLC. Agent: Granite Mountain Asset Management, LLC. Below is Scully's report:

**STAFF MEMO**

**TO:** Planning and Zoning Commission  
**FROM:** Charlie Scully, Planner  
**THROUGH:** Berrin Nejad, Community Development Manager  
**HEARING DATE:** July 18, 2016  
**PROJECT NUMBER:** Z 16-002  
**SUBJECT:** PAD REZONING *"The Vineyards at Cottonwood"*

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**PROJECT DATA AND FACTS:**

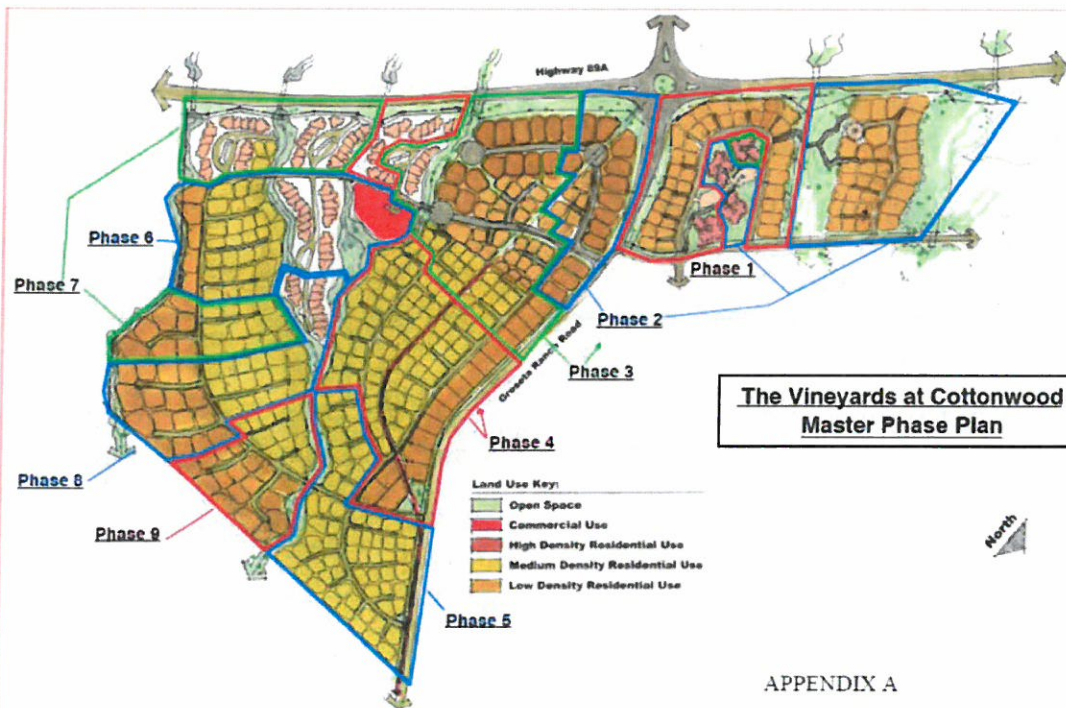
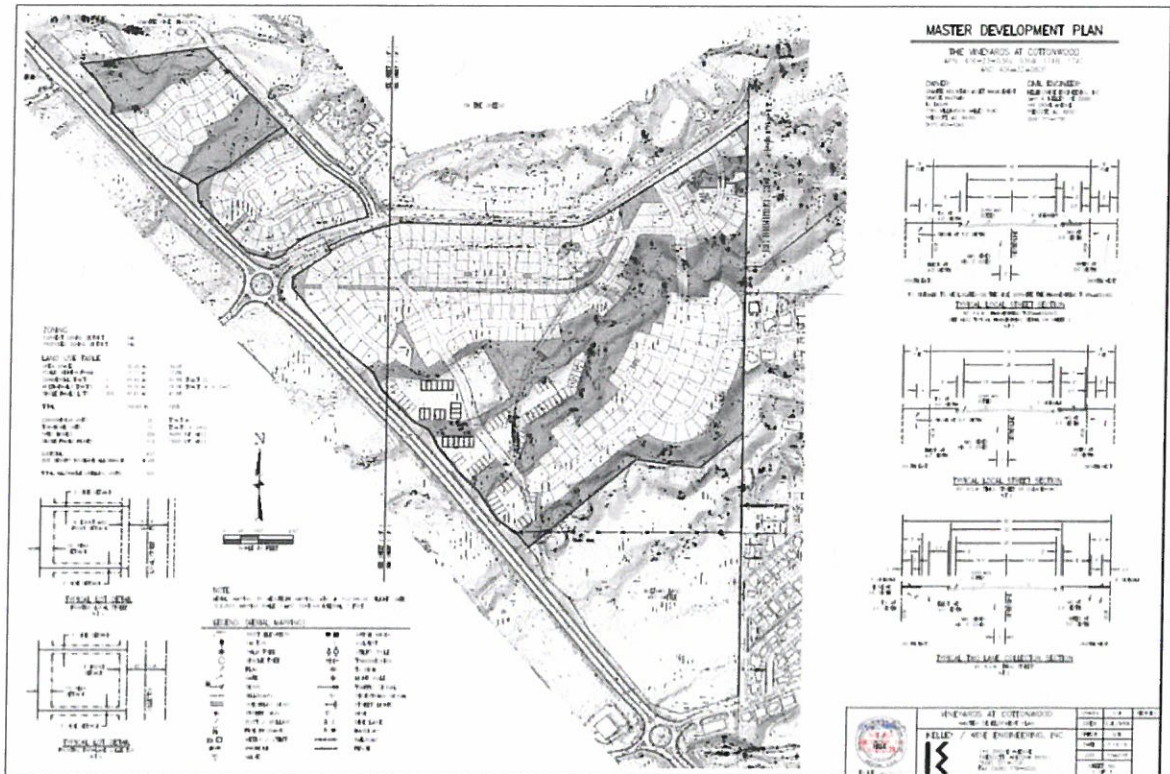
<b>Applicant/Agent</b>	Granite Mountain Asset Management LLC KJ Kasun, Applicant Michael Foster, Project Coordinator
<b>Property Owner/s</b>	Granite Mountain Asset Management LLC The Vineyards at Cottonwood 1, LLC
<b>Location of Property</b>	W. State Route 89A at Groseta Ranch Road
<b>Present Zoning and Land Use</b>	PAD (Planned Area Development) Ord. 408 (2001)
<b>Description of Applicant's Request</b>	Rezoning PAD Zone (Planned Area Development) with new Ordinance.

**LAND USE:**

<b>Description and Character of Surrounding Area</b>
Residential development exists to the north (On the Greens MH Park) and east (Verde Heights, Robega Terrace and Grandview Terrace subdivisions developed between 1957 and 1972.) Commercial development generally to the south at Mingus Avenue, and undeveloped commercial property to the immediate south and west across SR 89A.

<b>Adjacent Land Uses and Zoning</b>	
<b>North</b>	MH Zone (Manufactured Home) – Pine Shadows and On the Greens
<b>South</b>	PAD – Vacant, future development area, and C-1 (Light Commercial) – gas station at Mingus Ave.
<b>East</b>	R-1 (Single-Family Residential) - Verde Heights unit 2 (1961)
<b>West</b>	C-1 (Light Commercial) and Town of Clarkdale







**PROJECT PROPOSAL:****ZONING HISTORY BACKGROUND: “Groseta Ranch Master Plan.” 2001**

In 2001, the subject property went through an extensive public process to rezone approximately 144 acres for a mixed-use master planned development. The Planning and Zoning Commission held three public hearings on the proposal. The City Council conducted two well-attended public hearings. On November 20, 2001, the City Council approved Ordinance 408, rezoning approximately 144 acres from C-1 (Light Commercial,) R-1 (Single-Family Residential) and R-2 (Multiple-Family Residential) to PUD (Planned Unit Development) for the “Groseta Ranch Master Plan.” *[All PUD later changed city-wide to PAD Zone (Planned Area Development)]*

The 2001 Groseta Ranch Master Plan included 54 acres of “Retail/Commercial,” located mainly along State Route 89A, 35.5 acres of “Multi-Family Residential” on the east side of the property and approximately 9.4 acres designated as “Business Park,” as well as almost 18 acres of “Open Space/Washes.” A system of trails and interior roads were planned to connect to N. Main Street and the Old Town area. At that time State Route 89A was a two-lane rural highway with minimal improvements. The proposal included adding two new signalized intersections, including the realignment of Black Hills Drive to the west, two additional roadway intersections and five driveways for a total of 9 vehicle access points from the state highway to the development property.

Subsequent to the approval of the rezoning in 2001, a citizen group took steps to overturn the approval through the referendum process. The referendum failed; however, in the interim the commercial partners changed their plans and the overall project ceased to move forward. The PAD zoning for the Groseta Ranch Master Plan was never acted on. No subdivision plat was approved and no dedications were enacted. A new proposal has been submitted that includes changes in the scope of the project, the mix of uses, access from surrounding roads and interior roadway layout.

**ZONING PROPOSAL: “The Vineyards at Cottonwood” 2016**

Due to major changes to the mix of uses, design theme, street layout and access points, the Groseta Ranch PAD Zoning approved through Ordinance 408 is not applicable to the proposed development. The new proposal goes beyond the scope of the Major Amendment process. Therefore rezoning with a new Ordinance is necessary to effect the scope of changes. It is in effect a new development proposal.

PAD Zoning is established through the Master Development Plan as approved by the Ordinance. The proposed project places emphasis on residential development with a mix of housing types, including single-family residential, patio homes, and attached condominium units. The major natural drainage features bisecting the site from west to east will be preserved as open space and improved surface walking pathways will be integrated into those areas. For the initial proposal an area of several acres will be designated for potential commercial uses; however, the exact mix of commercial and residential could change with future phased development through the Amendment process.



Approximately 28.53 acres that had been part of the previous Groseta Ranch Master Plan located at the northeast corner of State Route 89A and Verde Heights Drive is not included in the revised PAD zoning proposal for the Vineyards at Cottonwood project. The property to the south at Verde Heights Drive is owned by others and development there is not part of the current proposal.

## PLANNED AREA DEVELOPMENT (PAD) ZONING

Planned Area Development (PAD) zoning provides an opportunity for proposing a unique custom designed development project. In return for flexibility with zoning and development standards, the applicant is required to submit a separate Master Development Plan document that allows review of the overall proposal in a comprehensive and coordinated format, so as to allow the reviewing bodies an opportunity to determine compliance with regulatory objectives.

## MASTER DEVELOPMENT PLAN

An application for PAD Zoning has been submitted in the form of a Master Development Plan (MDP). Zoning Ordinance, Section 424. PAD Zone, describes the procedures and criteria for the MDP. The MDP shall be a separate document, submitted in a ring binder format, that includes a detailed project narrative, supporting exhibits describing the proposed uses, development standards, design guidelines, project phasing data, maintenance responsibilities and other supporting documentation, as well as detailed graphic exhibits, including proposed site plan, landscape plan, building designs, and other project elements, as described in the PAD Zone section of the Zoning Ordinance.

### Project Narrative:

Section 424 PAD Zone provides an outline for the project narrative, including name and contact information, project data summary and project objectives outline.

### General Plan Review:

The Cottonwood General Plan supports the proposed development project at this location. Arizona Revised Statutes (ARS) § 9-462.01 F. refers to conformance with the General Plan: State Statute requires a change of zoning to be in conformance with the General Plan. The Cottonwood General Plan 2025, approved by the voters of Cottonwood on November 4, 2014, designates the Land Use classification for the subject property as Planned Development (PLD). The Planned Development (PLD) Land Use classification supports the zoning of this property with the Planned Area Development (PAD) Zoning District designation. PAD Zoning supports a master planned approach to property development and encourages quality mixed-use development with integrated open space and natural lands preservation.

In addition, the *Cottonwood General Plan 2025*, Growth Area Element identifies the subject property as a “growth area,” as defined by State Statute, as follows:

### **Element 6. Growth Area.**

The purpose of the Growth Area Element is to identify those areas most suitable for efficient, cost-effective mixed-use type of development where infrastructure, including streets, utilities and public services, is existing in relatively close proximity and where development can be accomplished in a manner that supports positive neighborhood qualities. It is the intent of this element to support the development of well-defined neighborhoods that include quality street environments, attractive



recreational facilities, integration with natural areas, and places that allow public interaction and community involvement.

This element is devoted to an examination of growth and the facilitation of an efficient pattern of land use which minimizes infrastructure costs, promotes economic development and housing needs, and encourages many of the small town qualities highlighted by the General Plan's vision. The Growth Area element encourages a focused pattern of development in those areas of the community that are most able to support such development. Efficient mixed-use development minimizes traffic and other impacts, and better enables opportunities to provide affordable housing, preserve the City's unique natural and historic amenities, open areas, backdrops, vistas, and trail opportunities. The Growth Area element also sets the stage for a pedestrian-oriented scale of development, which helps define the small town qualities that people value.

**Graphic Exhibits:** Planning exhibits for the MDP include:

- Site Plan
- Phase 1 Site Plan
- Topographic Map
- Phasing Plan
- Housing Elevations
- Open Space & Trail Plan.

**PROPERTY DEVELOPMENT STANDARDS:**

PAD Zoning allows the Applicant to propose unique standards for the project with the understanding that the project will include superior design and character. The MDP serves as the guide for documenting the unique property standards for a project. This describes typical setbacks, parcel size, open space requirements and other features for the proposed development.

**Setbacks:**

Collector Street:

- Front: 8 feet
- Rear: 15 feet
- Sides: 5 feet

Local Street:

- Front: 8 feet
- Rear: 15 feet
- Sides: 5 feet

**Height:**

Single-Family & Patio Homes:	20 feet or less
2-story Multi-Unit Condominium:	35 feet or less



## PROJECT SUMMARY AND PHASING

- 7-10 year total project lifespan for build-out.
- 9 phases, each with roughly consistent mixes of single family, patio homes, and condominiums.

### Total: 555 residential units

100.83 acres. Gross Density: approx. 5.5 units per acre

- Single family, Multi-family, Commercial - 68 acres
- Commercial / Mixed Use development - 2.83 acres
- Open Space - 30 acres

### Community Center

3-4,000 square feet size. 2.83 acre site.

Café, small retail, meeting space, farmers' market space.

### Phase 1: 46 Units

7.871 acres development area & 1.5 acres open space

- 6 single family homes
- 32 patio homes
- 8-unit multi-family condominium

Phase 1, Unit 1, residential development is located immediately to the north from the Main entrance from SR 89A at Anna's Way. A loop road provides access through Phase 1. The Patio Home configuration is located around the outside of most of the loop with some single-family parcels at one end. The interior of the loop road is the location for the four 8-plex, multi-unit condominium buildings (32 units total) with only one such condo building planned for Phase 1.

### Future Phases

The proposal includes an assortment of housing types, including single-family lots with direct access to streets, patio homes located on private shared lanes, and town homes with shared parking lots in future phases. The exact configuration, mix and scope of future phases may be amended at the time of development to respond to changing market interest.

## DESIGN REVIEW

Design Review includes review of design elements, architectural themes, materials, color palette and similar features. This is a required part of the PAD Zoning process that typically is included with the MDP as part of the initial review and approval. In some cases, aspects of the proposed development may be proposed for follow up review and approval of design review features by the Planning and Zoning Commission. In this case, the Vineyards project has proposed a design theme that could be continued with future development plans for areas not fully designed at this time, including the condominium multi-unit buildings, the town home development and the commercial center and community building. Various sub-areas of the project not fully designed at this stage could return to the Planning and Zoning Commission for design review at the time of proposed development. This gives the developer the flexibility to respond to changing market interests while still insuring zoning requirements are fairly applied.



### Architectural Theme: Craftsman Style

The architectural theme uses a “Craftsman” influenced design style. The American Craftsman style became one of the most popular home styles over 100 years ago in the early 20<sup>th</sup> Century. The single-family residences, patio home units and multi-unit condominium residential all include elements of the Craftsman style theme. Craftsman style focused on practical design elements while still recognizing the quality of handcrafted workmanship.

Craftsman homes typically have low-pitched roof lines with gabled or hipped roofs, deeply projecting overhanging eaves, open front porches beneath extensions of the main roof, exposed rafters or decorative brackets under the eaves, tapered, square columns supporting the porch roof, multi-pane double-hung windows, hand-crafted stone, woodwork and metal details, and mixed materials throughout the structure. Roof details often have decorative “knee brace” features or long exposed “rafter tails.” Exterior walls often were finished with wood shingles or exposed horizontal ship lap siding. Craftsman style may have exposed natural material details, such as wood or stone, in a natural state. Craftsman homes may include a range of colors, such as green, yellow and blue, but with a more “earthy” tone and hue. Accent colors also provide a strong part of the composition and may range from muted neutrals to warm bright colors.

The proposed theme for The Vineyards at Cottonwood development uses the Craftsman style as a basis for the design as applied to contemporary construction techniques. The design style is adaptable to different types of buildings so the overall master planned community would have a unified theme with variation.

### Building Types:

#### **SINGLE-FAMILY RESIDENTIAL:**

- 1,600 – 2,000 square feet
- 7,000 sq.ft. Lot Size
- Covered Porches, 2-car Garage

Phase 1 development includes 6 Single-Family Residential (SFR) homes on separate larger lots with direct driveway access to the local street. The house designs include the Craftsman style features.

#### **PATIO HOMES:**

- 1,100 – 1,400 sq.ft.
- 4,000 sq.ft. Lot Size
- 2-car Garage
- Shared Common Private Driveway maintained by HOA.

Phase 1 includes clusters of four (4) homes accessed by a shared driveway. Eight (8) such clustered areas are proposed for a total of 32 Patio Homes. Lots are generally smaller than the SFR homes but the orientation provides greater opportunity for neighborhood interaction. Home designs also include the Craftsman style design elements, colors and materials.



## MULTI-UNIT RESIDENTIAL CONDOMINIUM

- 8-unit, 2-story buildings
- 1,000 – 1,200 sq.ft. units
- 2 – 3 bedroom units
- Shared Parking Lots & Covered Parking
- Common shared site amenities

Phase 1 includes one 8-plex condominium structure is proposed to be located in the interior of the looped roadway. The design style is also Craftsman influenced with low pitched gable roof details, multi pane window details, mixed natural elements and intricate design details. Final site plan for the condominium area, including parking lots, pedestrian walkways, site amenities and landscaping will be provided prior to the approval of construction permits for the area.

## TOWN HOME:

- 1,100 – 1,259 square feet units
- 4,000 sq. ft. lots with shared parking lots
- With Phases 3, 6, 7 & 8
- Located in proximity to Community Center
- Common Wall and Garage

The town home or attached row house is indicated to be included with several future phases. Detailed architectural and site development plans would be required to come back to the Planning and Zoning Commission for future Design Review prior to submittal of construction plans for any part of the town home development.

## Site Layout

The main theme of the site layout show a series of sub-area neighborhood residential areas defined by looped roads and short “hammer head” streets (similar to cul-de-sac) separated into larger sub-areas defined by the legs of the natural drainage washes bisecting the site. A hierarchical street classification system further organizes the site layout with collector streets providing the main framework, local streets, including hammer-heads, providing direct access to properties, and a system of shared private driveways generally serving clusters of four patio homes.

## Screening/Buffering:

The Zoning process provides an opportunity for ensuring there is adequate separation between different types of uses and different intensity of activity. Screening and buffering is intended to provide adequate protection and transition between such uses in the form of walls, fences, earthen berms, landscaping, distance and similar features.

In this case, residential development is proposed to back up along State Route 89A. The screening is proposed to be a landscape hedge located between the homes and the state highway. The shrubs are Red Tip Photinia, which can grow to 10 feet or greater. Stone columns will be installed in line with the hedge every 150 feet.



**Lighting:**

In general, Dark Sky lighting objectives are supported by the Cottonwood Lighting Code. This includes ensuring lamp elements are designed to be shielded below the horizon line where the lamp element is not visible below a horizontal line of the fixture. In addition, the total light output, measured in lumens per acre, is calculated. Lumens are the factory designated output for various types of lamps. Also, operational times of the use for different activities may be applicable.

Single-family residential homes in Cottonwood are typically not subject to the outdoor lighting code; however, for a Planned Area Development, the lighting code can be applied to the entire development. This includes not only commercial, institutional and governmental uses but also residential for the overall project. Standards can be set to ensure all outdoor lighting meets dark sky objectives. In this case, compliance with lighting code standards will be addressed through the future design review of detailed plans for sub-areas and housing types.

**Signage:**

Development identification signage is proposed at the Groseta Ranch Road entrance. Any other special project signs within the development proposed at future time will be subject to design review.

**CIRCULATION STANDARDS:**

Existing streets include Groseta Ranch Road, providing access from the roundabout on State Route 89A, and Anna's Street connecting Groseta Ranch Road to On the Greens development. A local street connection is also shown to the east connecting to the exiting Ocotillo Street.

**Access and Driveways:**

Primary access is indicated as the roundabout at SR 89A and Groseta Ranch Road. Any additional proposed access points from State Route 89A would need to be coordinated with ADOT. On March 15, 2016, the City Council approved Resolution Number 2831 accepting dedication of right-of-way for the proposed continuation of the north portion of Groseta Ranch Road connecting to a point on N. Main Street above Old Town. Groseta Ranch Road has been shown for many years as a collector street between SR 89A and Main Street on the City's street plan and is also indicated on the Cottonwood General Plan Circulation Element. This also fits into the developer's interest in providing direct access to the Old Town area as a valued amenity.

**Interior Circulation:**

The project includes collector streets, local streets and private access ways. The plan also includes provisions for pedestrian and bicycle circulation.

**Traffic Impact Study:**

Zoning Ordinance, Section 424. PAD Zoning indicates that a Traffic Impact Study (TIS) is required for residential development with 50 or more units proposed. In this case, Phase 1 includes less than 50 residences. The applicant will be required to produce a TIS for the entire project, including Phase 1, at the time the total number of dwelling units exceeds 50 for the overall project. It would be expected to be included as part of the Phase 2 development.



### OPEN SPACE STANDARDS:

PAD Zoning requires open space features as an integrated component of a quality master planned community. The ordinance describes open space as both natural and developed areas.

Approximately 30% of the overall site (or 30 + acres) is proposed as open space, including the natural drainage washes.

### Drainage and Washes.

The project includes three major drainages bisecting the site generally from west to east. The north wash is a FEMA designated flood zone know as Mescal Gulch. The other two washes primarily serve as local drainage features for the lower hillsides to the west. Identification and preservation of washes and major drainage features in their natural condition is the preferred approach.

### Parks and Community Use Areas

The preservation of the natural drainage features provides area for integration of walking pathways. Access to open space areas is relatively close to all sections of the development.

### Trails and Pathways.

The goal of including walking trails in and around planned developments is described in the MDP outline. Appropriate surface material and design specifications should be identified in the MDP. The design standards for non-motorized, shared-use pathways should be submitted for review including surface material, width and street intersection details. Final design plans should be submitted for review prior to submittal of related construction permits.

### LANDSCAPE PLAN:

The Landscape Ordinance was revised in 2009 to ensure required landscape plans focus on the use of drought-tolerant, low-water use plants. The landscape ordinance identifies riparian versus hillside plant varieties, and performance based design that ensures a distribution of plants through a site, including street corridor, parking lot and building area landscaping.

The Plant List in the Cottonwood Zoning Ordinance is proposed as the source of potential plants for the development. It is standard to provide detailed landscaping plans for commercial and multi-unit residential development as part of the Design Review process. Since the future phases of this project have not been fully designed due to allowing flexibility to respond to market direction, it is recommended to require that complete landscape plans be submitted to the Planning and Zoning Commission at a later date as part of the Design Review process for multi-unit residential, town homes, commercial and community facility uses.

### WATER PLANNING

PAD Zoning requires a preliminary study of water, sewer and drainage so as to ensure there is adequate system capacity for the proposed development. The water adequacy issue was legally determined in 2009 through a process of working with the Arizona Department of Water Resources (ADWR) to provide a "Designation of Adequate Water Supply" for Cottonwood. Questions of reliability are inevitable for any study; however, this designation provides a legal and procedural framework for these issues.



**Statement of Water Use:**

Recognizing the importance of having a sustainable supply of water, the City of Cottonwood in 2009, obtained from the Arizona Department of Water Resources (ADWR) a "Designation of Adequate Water Supply" for 6,000 acre-feet of water annually, which is more than twice the volume of groundwater pumped in 2013. In order to obtain this designation, the City demonstrated to ADWR that 6,000 acre-feet of groundwater will be continuously available to be pumped from the aquifer for 100 years without causing the groundwater table to decline below a statutorily defined limit. By becoming a Designated Adequate Water Provider, all proposed subdivisions within the City's service area are designated as having a sustainable supply of water to meet their needs. Developers are not required to submit a separate hydrologic study to ADWR, as the city-wide designation covers this requirement.

**Water Conservation Plan:**

The Zoning Ordinance allows PAD projects an opportunity to waive the dual plumbing gray water requirement for individual residences in return for meeting water conservation objectives through a program that includes features, such as low-water use plumbing fixtures, drought-tolerant landscaping, and use of reclaim water.

**DEVELOPMENT PHASING PLAN:**

The project is proposed to be developed in Phases. The first phase includes residential development located northeast of the main project entry point at Groseta Ranch Road and SR 89A. The requirements for phased infrastructure development, including roads, water lines and wastewater systems, are determined by applicable departments based on system requirements. In some cases, extended infrastructure will need to be installed in the first phase so as to meet operational or system requirements.

Phase 1 includes 46 dwelling units located at the northeast corner of SR 89A and Groseta Ranch Road. This includes 6 single-family home lots, 32 patio home units which are designed with 4 homes around a shared private lane, and 1 multi-unit 8-plex condominium structure. There will be three (3) model homes built in Phase 1.

**SUBDIVISION:**

The subdivision platting process is guided by the City's Subdivision Ordinance. Subdivision is done through a separate application process that is reviewed and approved by the Planning and Zoning Commission and City Council. The Zoning approval for the proposed Planned Area Development project must be obtained first with Subdivision of land to follow.

**Condominium:**

"Condominium" means real estate, portions of which are designated for separate ownership and the remainder of which is designated for common ownership solely by the owners of the separate portions. Real estate is not a condominium unless the undivided interests in the common elements are vested in the unit owners. As such, condominium development is created through the subdivision platting process. A separate Plat is required for any proposed condominium use.



**RECOMMENDED STIPULATIONS:**

If approved, staff recommends the following stipulations:

1. That the project conforms to the comments from the Code Review Board meeting of March 15, 2016.
2. That the project conforms to the Master Development Plan (MDP) as submitted. There shall be no more than 555 residential dwelling units provided for the complete project.
3. That the project conforms to comments received from the Fire & Medical Department dated June 28, 2016.
4. That the project conforms to the comments from Engineering Department dated July 8, 2016.
5. That the project conforms to the requirements of the Utility Department regarding installation of water and sewer improvements, including timelines, scheduling, standards and fees.
6. That the project conforms to the requirements of the Public Works Department regarding grading and drainage plans, stormwater management and street engineering.
7. A Traffic Impact Study (TIS) shall be submitted with Phase 2 plans, to be approved by staff and ADOT. All streets shall be built to City standards.
8. Indicate one (1) foot vehicular non-access easements for detached single-unit residential parcels abutting designated collector streets.
9. All site grading activity shall be subject to City requirements for dust control, including use of treated effluent for dust suppression.
10. For trails that are located along drainage washes, locate the trail tread along the top of slope and not within the floodway or drainage bottom. Indicate that trails shall be located within open space tracts or designated public access easements; and that the homeowners association shall maintain all park, open space and trail improvements.
11. The developer shall be required to submit all required future plans to the Planning and Zoning Commission for Design Review for all areas and features not included as part of the Master Development Plan, including any condominium development, multi-unit residential, town homes, commercial uses, community facilities, parks and trails, and project signs, as well as any additional or modified site features or building designs.
12. Provide landscape plans, as per Zoning Ordinance Section 407, for areas and uses subject to design review. Indicate that the homeowners association shall be responsible for maintaining the landscaping in public right-of-ways and other areas as proposed.



13. All public infrastructure (streets, water, sanitary sewer, storm drainage, reclaimed water, etc.) shall be constructed in accordance with the current edition of the Maricopa Association of Governments, Uniform Standard Details for Public Works Construction, Maricopa Association of Governments, Uniform Standard Specifications for Public Works Construction, Article 6 of the City of Cottonwood Subdivision Ordinance (06/07/OS) and generally accepted engineering principles. Additional requirements may be required at the discretion of the City of Cottonwood Engineer.
14. Drainage improvements shall be designed in accordance with the Drainage Design Manual for Yavapai County and City Ordinances 172 & 615. Additional requirements may be required at the discretion of the City of Cottonwood, Engineer.
15. Public roads shall be a minimum of 30' wide back of curb to back of curb. Streets with a width less than 30' back of curb to back of curb shall be considered to be private streets and will not be publically maintained. If a street width of less than 30' back of curb to back of curb is desired, the minimum width shall be dictated by the requirements set forth by the City of Cottonwood Fire Department.
16. No parking will be allowed on any streets that are 20' wide. Parking on one side of the road will be allowed on streets that are 26' wide, except where Fire Hydrants are located.
17. All road/street heights, widths, cul-de-sac and hammerhead turn around distances shall meet the requirements in the 2012 International Fire Code appendix D and the City of Cottonwood conditions.
18. A secondary approved temporary access road shall be installed before phase II construction is started. A permanent approved collector street accessing North Main Street shall be installed and fully accepted by the City of Cottonwood before phase II is 25% completed.
19. Time is of the essence for the construction of Groseta Ranch Road north to Main Street. Construction of the roadway extension shall be started as soon as practicable ensuring that the road is completely constructed and accepted by the City of Cottonwood no later than March 1, 2020.
20. At the gated entrance to the On the Greens subdivision, from Anna's Ave., the Cottonwood Fire and Medical Department has an emergency vehicle preemption signal device on the coded gate system that requires a clear visible path from Groseta Ranch Road in order to operate correctly. Please coordinate any future placement of trees and shrubs within this corridor that may prevent this device from working correctly.
21. The Developer shall dedicate an Avigation Easement to the City of Cottonwood due to subject property's proximity to the Cottonwood Airport. This easement shall be identified on the subdivision plat.
22. A Certificate of Zoning Compliance documenting the completion of conditions of approval as specified by the Master Development Plan shall be issued prior to approval of any Certificate of Occupancy for the project. A Certificate of Zoning Compliance may be issued for individual Phases, as defined in the MDP.



23. The change of zoning shall remain in effect for three (3) years from the effective date of approval of the Ordinance by City Council. If at the expiration of this period the property has not been improved for the use for which it was conditionally approved, the City Council, after notification by certified mail to the owner and applicant who requested the rezoning, shall schedule a public hearing to take action to extend the approval period or cause the property to revert to its former zoning classification. The City Council may consider extending the rezoning for up to two (2) additional years where the applicant provides sufficient information to the City prior to the hearing to allow the City Council to make a determination that the applicant intends to proceed with the project within the approved timeframe.

24. Any other stipulations the Planning & Zoning Commission deems necessary.

Commissioner Narwid had some questions regarding the phasing and how it was being proposed, his concern was that there are nine (9) phase, within phase one (1) there are parts of both phase two (2) and phase (3); there is flexibility with a Planned Area Development (PAD) but to what extent, and is the normal for a PAD. Staff responded that the PAD ordinance is special, it does allow for flexibility in return for a superior project and quality design, the other that is specific to this request is that they are putting a limit on the number of homes being built, the PAD ordinance allows the applicant to look at the gross density and calculate the allowable housing, which in this case would be more than what is presented tonight of 555 homes. Commissioner Narwid also asked who had the rights to Groseta Ranch Road, and who is responsible for improving it. Staff responded that it is a requirement of the development to improve the road. Commissioner Wasden agreed with Commissioner Narwid, like what is here on paper in front of us, however, the details and setbacks tell a different story of what the development is actually going to look like. Commissioner Poslaiko shared the same concerns with Commissioner Wasden that while it looks good on paper there are small setbacks proposed and it looks like conventional garages that all face out toward the street. Staff responded that there are four (4) different types of housing that are laid out somewhat differently. Commissioner Poslaiko responded but thematically they are will all be craftsman style homes. Vice Chairman Williams mentioned that tonight's approval is only for the rezone of the land, that tonight is not approval of the preliminary plat, the applicant will still need to come back to the Commission for a plat review of phase one (1). Commissioner Narwid asked the applicant why not build all the condominiums in phase one (1) instead of breaking it up into three (3) phases. Applicant responded that unfortunately for this town and due to the recession we cannot put our thumb on what the City needs, we offer three different projects (patio homes, single family residences, and condominiums) in order to see what sells and what doesn't, if we sell more single family residences because that is the demand for Cottonwood then we want to build more single family homes then patio homes, or condominiums. Commissioner Narwid responded then what happens to the vacant land where the condominiums are for phases two (2) and three (3). Applicant responded that they will have to re-plat it or make it open space. Commissioner Wasden mentioned that his biggest concern is the traffic, and concerns regarding the actual space of the lots and the setbacks. Applicant responded that the lots where there will be single family residences will have a 30% lot coverage, the patio homes will be 28-30% lot coverage, and we will have a traffic study completed by phase two (2). Commissioner Wasden let the applicant know that some of the things they may want to address when they come back for their plat approval.



**Motion:** *To recommend approval of Z 16-002 Vineyards at Cottonwood to the City Council with the following stipulations:*

- 1. That the project conforms to the comments from the Code Review Board meeting of March 15, 2016.*
- 2. That the project conforms to the Master Development Plan (MDP) as submitted. There shall be no more than 555 residential dwelling units provided for the complete project.*
- 3. That the project conforms to comments received from the Fire & Medical Department dated June 28, 2016.*
- 4. That the project conforms to the comments from Engineering Department dated July 8, 2016.*
- 5. That the project conforms to the requirements of the Utility Department regarding installation of water and sewer improvements, including timelines, scheduling, standards and fees.*
- 6. That the project conforms to the requirements of the Public Works Department regarding grading and drainage plans, stormwater management and street engineering.*
- 7. A Traffic Impact Study (TIS) shall be submitted with Phase 2 plans, to be approved by staff and ADOT. All streets shall be built to City standards.*
- 8. Indicate one (1) foot vehicular non-access easements for detached single-unit residential parcels abutting designated collector streets.*
- 9. All site grading activity shall be subject to City requirements for dust control, including use of treated effluent for dust suppression.*
- 10. For trails that are located along drainage washes, locate the trail tread along the top of slope and not within the floodway or drainage bottom. Indicate that trails shall be located within open space tracts or designated public access easements; and that the homeowners association shall maintain all park, open space and trail improvements.*
- 11. The developer shall be required to submit all required future plans to the Planning and Zoning Commission for Design Review for all areas and features not included as part of the Master Development Plan, including any condominium development, multi-unit residential, town homes, commercial uses, community facilities, parks and trails, and project signs, as well as any additional or modified site features or building designs.*
- 12. Provide landscape plans, as per Zoning Ordinance Section 407, for areas and uses subject to design review. Indicate that the homeowners association shall be responsible for maintaining the landscaping in public right-of-ways and other areas as proposed.*



13. *All public infrastructure (streets, water, sanitary sewer, storm drainage, reclaimed water, etc.) shall be constructed in accordance with the current edition of the Maricopa Association of Governments, Uniform Standard Details for Public Works Construction, Maricopa Association of Governments, Uniform Standard Specifications for Public Works Construction, Article 6 of the City of Cottonwood Subdivision Ordinance (06/07/OS) and generally accepted engineering principles. Additional requirements may be required at the discretion of the City of Cottonwood Engineer.*
14. *Drainage improvements shall be designed in accordance with the Drainage Design Manual for Yavapai County and City Ordinances 172 & 615. Additional requirements may be required at the discretion of the City of Cottonwood, Engineer.*
15. *Public roads shall be a minimum of 30' wide back of curb to back of curb. Streets with a width less than 30' back of curb to back of curb shall be considered to be private streets and will not be publically maintained. If a street width of less than 30' back of curb to back of curb is desired, the minimum width shall be dictated by the requirements set forth by the City of Cottonwood Fire Department.*
16. *No parking will be allowed on any streets that are 20' wide. Parking on one side of the road will be allowed on streets that are 26' wide, except where Fire Hydrants are located.*
17. *All road/street heights, widths, cul-de-sac and hammerhead turn around distances shall meet the requirements in the 2012 International Fire Code appendix D and the City of Cottonwood conditions.*
18. *A secondary approved temporary access road shall be installed before phase II construction is started. A permanent approved collector street accessing North Main Street shall be installed and fully accepted by the City of Cottonwood when 100 homes are completed.*
19. *Time is of the essence for the construction of Groseta Ranch Road north to Main Street. Construction of the roadway extension shall be started as soon as practicable ensuring that the road is completely constructed and accepted by the City of Cottonwood no later than March 1, 2020.*
20. *At the gated entrance to the On the Greens subdivision, from Anna's Ave., the Cottonwood Fire and Medical Department has an emergency vehicle preemption signal device on the coded gate system that requires a clear visible path from Groseta Ranch Road in order to operate correctly. Developer shall coordinate any future placement of trees and shrubs within this corridor that may prevent this device from working correctly.*



21. *The Developer shall dedicate an Avigation Easement to the City of Cottonwood due to subject property's proximity to the Cottonwood Airport. This easement shall be identified on the subdivision plat.*
22. *A Certificate of Zoning Compliance documenting the completion of conditions of approval as specified by the Master Development Plan shall be issued prior to approval of any Certificate of Occupancy for the project. A Certificate of Zoning Compliance may be issued for individual Phases, as defined in the MDP.*
23. *The change of zoning shall remain in effect for three (3) years from the effective date of approval of the Ordinance by City Council. If at the expiration of this period the property has not been improved for the use for which it was conditionally approved, the City Council, after notification by certified mail to the owner and applicant who requested the rezoning, shall schedule a public hearing to take action to extend the approval period or cause the property to revert to its former zoning classification. The City Council may consider extending the rezoning for up to two (2) additional years where the applicant provides sufficient information to the City prior to the hearing to allow the City Council to make a determination that the applicant intends to proceed with the project within the approved timeframe*

*Made by: Vice Chairman Williams  
Second: Commissioner Wasden  
Vote: Unanimous*

DISCUSSION ITEMS (NONE)

INFORMATIONAL REPORTS AND UPDATES

*There was a brief update/discussion in regards to the following, no action was taken, and these were only for informational purposes.*

1. 3 Kings Casbah
2. Hippie Emporium
3. Vacation Rentals
4. Rendezvous Square
5. Resignation of Commission Ray Cox

ADJOURNMENT

Meeting adjourned at 8:46 p.m.





## **“PAD” Zone, PLANNED AREA DEVELOPMENT**

*This excerpt is designed to provide information about the City of Cottonwood, and has been prepared for general planning and informational purposes only. Ordinance changes may have been adopted since this printing. In addition, most sections of the Zoning Ordinance make reference to other sections. The complete Zoning Ordinance is available for review at the Community Development Department at 111 N. Main St., Cottonwood, Arizona, and is also available on the City of Cottonwood website at <http://cottonwoodaz.gov>*

*Every effort has been made to make these excerpts as current and accurate as possible; however, no warranty or fitness is implied. The information herein is provided on an “as-is” basis. The City of Cottonwood shall have neither liability nor responsibility to any person or entity with respect to any loss or damages in connection with, or rising from, the information contained in this excerpt.*

### SECTION 424. “PAD” ZONE, PLANNED AREA DEVELOPMENT

#### A. PURPOSE.

The Planned Area Development (PAD) zoning district is intended to provide an alternative to the conventional zoning and development processes in the City of Cottonwood, Arizona (City), in order to achieve the following purposes:

1. To ensure orderly planning and review procedures that will result in superior design, with variety in architectural and site design using techniques including, but not limited to, variations in building styles, setbacks, lot arrangements, and site planning;
2. To promote economical, innovative, and efficient land use, with emphasis on utilizing existing infrastructure, improving amenities, with appropriate and harmonious variety, creative design, and sensitivity to the surrounding land uses and the natural environment;
3. To provide for a zoning district that encompasses a broad range of land uses including, but not limited to single-family and multi-family residential, professional and administrative offices, retail, service, hotel and resort, light industrial or employment, recreational, and any public or semi public use or combination of uses through the adoption of a Master Development Plan (MDP) which sets forth land-use relationships, development standards, and goals consistent with the Cottonwood General Plan;
4. To encourage a more creative approach to land utilization by creating efficient, aesthetic, and desirable developments, which may be characterized by incorporating special features of the geography, topography, size, uses, or shape of a particular property into its site planning;
5. To permit flexibility in design standards so that a PAD produces a choice in the type of environment, living units, commercial installations, and other facilities available to the public while maximizing efficient, aesthetic, and desirable use of open space;



6. To promote a unique yet compatible development that is in harmony with the surrounding land uses and the goals of the City of Cottonwood General Plan;
7. To provide a device for averaging residential density over an entire parcel and placing no restrictions on lot size or dwelling types, as long as the total density does not exceed the maximum approved in the MDP; and
8. To provide standards to ensure that PAD projects are developed with high-quality, integrated site design, complimentary building architecture, efficient and safe traffic circulation, appropriate landscaping, preservation of significant natural features, and attractive site amenities.

**B. GENERAL REQUIREMENTS AND STANDARDS.**

1. The land uses and design of the proposed PAD shall be consistent with the goals, objectives and policies as described in the Cottonwood General Plan.
2. The provisions of the City of Cottonwood Zoning Ordinance, Article III – Procedures, Section 301, Amendments or Zone Changes. Subsection D.1.b., which requires a Tentative Development Plan to be submitted for a PAD rezoning, shall be replaced with the requirement for the submission of a Master Development Plan (MDP) as described in this section.
3. The uses allowed within each PAD shall be limited to those listed in the approved MDP for that development. The number of dwelling units and/or gross commercial/industrial square footage shall also be limited by the approved MDP.
4. In general, a variety of housing types shall be encouraged for residential Planned Area Developments, so as to provide for the diverse needs of the community. Parcel densities within the PAD may be flexible as long as the maximum number of dwelling units established for the entire PAD is not exceeded.
5. Generally smaller, infill-type PADs, which include only one housing type, such as all detached or all attached units, or one type of commercial use, shall not be considered inconsistent with the stated purposes and objectives of this section and shall not be the sole basis for denial or approval of the PAD. The overall quality of the development and compatibility with surrounding development shall be considered in the evaluation of an infill PAD.
6. Commercial development in a PAD may provide for a variety of commercial and/or industrial/employment uses. The total square footage for commercial/industrial uses may be flexible from parcel to parcel within the maximum allowable number of square feet of commercial/industrial usage for the entire PAD as established by the MDP.
7. Development which includes a mix of residential and commercial and/or other non-residential uses shall include specific standards in the MDP to address the manner in which compatibility of uses is established.



8. Section 404, General Provisions, of the Zoning Ordinance shall apply for any general development standards not specifically a part of the PAD approval.
9. There is no minimum size for a proposed PAD site, however, if proposed for an in-fill or redevelopment site, the size of a PAD will be reviewed in the context of the property's location and surrounding uses.
10. There shall be no minimum lot size requirement for individual lots; however, proposed lot sizes will be reviewed in the context of the General Plan goals and objectives for that property, as well as the overall site plan, building layout and design quality for the development.
11. Proposed standards shall be reviewed and approved based upon compatibility with adjacent land uses, the placement of buildings within the parcel, and conformance with building codes and fire safety requirements.
12. Land uses on the perimeter of the PAD shall be designed and developed to be compatible with and complementary to the existing and planned development reflected on the General Plan in the immediate vicinity of the proposed PAD.
13. PADs located on the perimeter of the city boundary or abutting National Forest lands or designated open space shall provide an appropriate approach for transition and/or buffering between abutting land uses so as to ensure appropriate compatibility of uses. Such transition may be addressed by stepping down the density of residential development, providing additional development setbacks and/or additional open space and landscape buffering between the PAD development and abutting land uses.
14. PADs located adjacent to National Forest lands, public parks or designated open space shall be evaluated to identify opportunities for providing non-motorized trail access from within the development to abutting public lands. Locations for any such trail routes or access points shown on the PAD site plan shall be coordinated with the abutting land management agency to ensure appropriate planning and approval for their development.
15. All PADs shall be subject to the applicable provisions of the City of Cottonwood Zoning Ordinance, the Subdivision Ordinance, and Ordinance Number 144, pertaining to off-site improvements and all other applicable codes, ordinances and regulations, unless exceptions are specifically granted through the PAD rezoning process.

C. PERMITTED USES.

1. All uses designated in the approved MDP together with permitted accessory uses.
2. Uses Subject to a Conditional Use Permit designated in the approved MDP and in accordance with Section 302 of this Ordinance.



#### D. MASTER DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

1. An application for PAD Zoning shall be submitted in the form of a Master Development Plan (MDP). The MDP shall be a separate document that includes a detailed project narrative, supporting exhibits describing the proposed uses, development standards, design guidelines, project phasing data, maintenance responsibilities and other supporting documentation, as well as detailed graphic exhibits, including proposed site plan, landscape plan, building designs, and other project elements, as required.
2. The MDP shall be submitted in an 8 ½" by 11" ring binder format with the following information included:
  - a. Title page indicating the project name, location, applicant/s and master developer/s contact information and date of submittal.
  - b. Table of Contents.
  - c. Project Narrative. A project narrative summarizing the proposed development and identifying the objectives and rationale for the proposal shall include at a minimum the following information:
    - (1) Proposed name of development;
    - (2) Name, address, phone numbers and contact information for applicants and property owners;
    - (3) Description of the location of the proposed project, including parcel numbers, addresses, if available, and closest streets;
    - (4) Summary of the proposed land use areas and the development standards for each use and/or parcel within the PAD, including:
      - a) Proposed number of dwelling units, dwelling unit type/s, total land area, gross density of project area and net densities of residential sub-areas;
      - b) Proposed uses other than residential, total land area, and maximum square footages/floor area ratios associated with commercial/ industrial uses;
      - c) A preliminary parcel data table to include parcel numbers, size of parcels, existing zoning, existing uses and proposed uses;
      - d) Proposed public streetscape and open space improvements and their relationships to the overall development;
      - e) Summary of proposed property development standards, including building heights, minimum lot areas, yard setbacks, and all other development standards;



- f) A conceptual description of architectural theme, colors, and exterior building materials proposed for use in the PAD;
  - g) A conceptual description of the landscaping treatment, plant materials, fences, walls, and other open space improvements;
  - h) Proposed location of arterial, collector, or local streets, whether public or private, within a preliminary master circulation plan;
  - i) Proposed location and use of all lands proposed to be dedicated for public purposes including parks, stormwater retention areas, and school sites; and
  - j) Preliminary master water, sewer, and drainage reports.
- (5) Project Objectives. A description of the objectives to be achieved by the development concept, including, but not limited to:
- a) The manner in which the proposed MDP meets or exceeds the intent of the PAD District;
  - b) The proposed overall design rationale, as well as architectural and site design concepts, including style, colors, type of materials, and rationale for placement of structures to maximize views and take advantage of the natural characteristics of the PAD site;
  - c) Specific concepts by which the proposed MDP will make an orderly transition from existing or planned adjacent development including varied setbacks and façade treatment, open space elements, screening of parking areas, and landscaping of the public or private open spaces and recreational facilities; and
  - d) A discussion of visual, traffic, or drainage impacts and compatibility with surrounding land uses and consistency with the General Plan.
  - e) Provide analysis of proposed residential density, mixed use issues, neighborhood quality, and other qualitative issues. Include a comparison of the existing zoning regulations in relation to the proposed standards for the PAD, including density, setbacks, and permitted uses;
- d. General Plan Review. The General Plan is established, as per state statutes, as a guide for the long-range growth and development of the community. A proposed change of zoning must be in conformance with the Land Use category as designated on the Land Use Map to be approved. Additional policy direction regarding growth and development is provided in each of the General Plan elements. Provide a brief review of how the proposed development conforms to the General Plan elements, as follows:



- (1) Provide a statement indicating how the proposed development conforms to the Land Use Category or Categories indicated on the General Plan Land Use Map. Also provide a review of how the proposed development conforms to the narrative text and Local Strategies indicated in the applicable Land Use Planning Area for the proposed development. Indicate and discuss any Special Study Areas or other unique features within the applicable Plan Area map.
  - (2) Provide a statement indicating how the proposed PAD meets the intent of the General Plan goals, objectives and policies for each of the General Plan elements, including Community Vision, Housing, Economic Development, Circulation, Open Space, Growth Area, Environmental Planning and Water Resources.
- e. Graphic Exhibits. Provide 8 ½" x 11" reductions of the proposed site plan, landscape plan, building plans and elevations, and other exhibits necessary to describe the proposed development, including the following:
- (1) A conceptual development site plan for the proposed PAD showing existing and proposed parcel boundaries, building locations, pedestrian and vehicular circulation systems, parking areas, landscaped areas, right-of-way and open space areas.
  - (2) A vicinity map adequately identifying the project location in relation to surrounding development and circulation systems. Indicate the zoning on surrounding parcels.
  - (3) Aerial photo of the subject property with the subject property identified.
  - (4) Photographic exhibits of the subject property displaying any existing development or natural features.
  - (5) Other exhibits as necessary to describe the proposed project.
- f. Property Development Standards. Flexibility with development standards may be considered where superior design quality is provided resulting in a more innovative, creative project. Provide a detailed summary of proposed development standards for the project, including the following:
- (1) Minimum lot sizes, building setbacks, minimum yard standards, maximum height, maximum lot coverage and similar standards, as applicable.
  - (2) Describe proposed standards for parking, lighting, signage, and landscaping.
  - (3) Unique development standards, such as buffering and screening between uses, project entry features, or other requirements related to the physical development of the project.



- g. Design Guidelines. The design guidelines section of the MDP shall describe both the overall development theme and specific design details for buildings and structures, site walls, signage, lighting, landscape features, paving, and similar project elements. It is the intent of the PAD standards that each project will be developed with an integrated design theme that defines the character of the development. The applicant shall develop and provide proposed design guidelines for the project to include the following:

(1) General Guidelines:

- a) Describe the architectural theme for the development and provide graphic examples where necessary to illustrate how the design theme applies to various elements of the development.
- b) Provide design details for buildings, site features, site walls, signage, lighting, landscaping, pavement and other project elements.
- c) For large-scale residential development, provide a variety of housing types (single-family, apartments, and townhouses), housing densities (lot width, depth and size), and home design (different floor plans, elevations and orientation). Residential planned development shall be encouraged to include a variety of housing types and designs; however, the actual project size where variety needs to be incorporated shall be evaluated based on the General Plan designation, existing conditions, surrounding context and other unique conditions.
- d) Garage doors and carport openings need to be located at the same distance or farther back from the street frontage than the primary dwelling so as to avoid a neighborhood street environment dominated by garage doors or parking structures.
- e) Provide graphic exhibits, as necessary, to describe specific details related to the design guidelines, including building design, paving, landscaping, site walls, sign structures, lighting or similar features.

(2) Site Features:

- a) Provide details for project entry features, including decorative walls, landscaping, project identification signage and other design elements.
- b) Provide details for perimeter site walls. Walls should be appropriately detailed to enhance the quality and character of the project. Incorporate treatments such as stucco finish, textured block, brick, decorative cap block, combination block/wrought iron, and integration with adjacent landscaping. Wrought iron, view-type fences should be utilized adjacent to retention basins, open space, and recreational amenities. Chain link fences and standard block walls shall be avoided where visible from streets or surrounding properties.



- c) Design outdoor lighting to address safety and utility, as well as to enhance the character of the buildings, landscaping and site features.

(3) Building Design:

- a) Provide a summary of the proposed materials and colors for the development. Describe exterior materials and colors of building components, including walls, windows, doors, and roofs. Reproductions of color samples may be included in the MDP for reference with a separate set of manufacturer's material and color samples provided for public hearing review.
- b) Although it is the intent of this ordinance to encourage a coordinated design theme for the PAD, variety in the design of individual buildings and residences is strongly encouraged, including variety in building massing elements, roofing materials and exterior details.

(4) Streetscape Design

- a) Provide graphic details and descriptions of streetscape design for various types of streets, including local residential streets, commercial or mixed use streets, parkways and connector streets. Indicate pavement details, landscaping, site walls and unique signage to be incorporated in the typical streetscape design.
- b) Provide details of street landscaping, including proposed tree varieties. The landscaping shall be designed to enhance the aesthetic quality of the development and to integrate with the surrounding natural environment.

(5) Neighborhood Design

- a) Indicate how the plan provides a coherent system of neighborhood elements, including interconnected residential blocks, orientation of homes to the street, open space and parks, and safe, convenient and interconnected pedestrian connections.
- b) Provide adequate buffering and/or screening from less compatible neighborhood elements, such as arterial and collector streets, and adjacent non-residential uses.

h. Circulation Standards.

- (1) The arrangement, character, extent, grade, width, and location of all roadways, streets, bike paths, or trails shall conform to applicable City standards, unless adjusted for specific topographical or developmental conditions in accordance with an approved traffic engineering study.
- (2) The need to conduct a Traffic Impact Study shall be based on the land use and size of the development. Residential development with 50 dwelling units



or more in total and/or commercial development with 100,000 square feet in gross floor area or greater and/or industrial development with 200,000 square feet in gross floor area or greater, including all development approved for phased development, shall be subject to the requirements for conducting a Traffic Impact Study.

- (3) The City Engineer shall review the Traffic Impact Study based on the following conditions:
  - a) Existing traffic problems or congestion;
  - b) Public concerns regarding the development;
  - c) Negative impacts on adjacent developments;
  - d) The circulation conditions propose a deviation from City of Cottonwood standards; or
  - e) Other local issues that may be present.
- (4) Where the need for a Traffic Impact Study has been identified, this study should be completed and submitted to the City Engineer for review prior to the Planning and Zoning Commission hearing. The developer should estimate the numbers of trips generated by the development and confirm the Category of the study with the City Engineer before submitting the report. Traffic Impact Studies for the City of Cottonwood are classified into three categories:
  - a) Category I - Developments that generate between 100 and 300 vehicle trips during any peak hour.
  - b) Category II - Developments that generate between 300 and 750 vehicle trips during any peak hour.
  - c) Category III - Developments that generate more than 750 vehicle trips during any peak hour.
- (5) Where such is not shown on the General Plan, adopted transportation plan, specific area plan or preliminary plans, the arrangement of streets, bicycle facilities and trails shall provide continuation or appropriate projection of existing streets, bicycle facilities and trails in surrounding areas. Streets, bicycle facilities and trails shall be designed to make the best use of the land features and open space requirements of this Ordinance, in addition to meeting public safety issues.
- (6) Planned development shall provide for adequate traffic circulation that incorporates the adopted City street functional classification system to handle the projected traffic volumes on the streets.
- (7) Individual home lots should not front onto collector or arterial streets. Options include orienting the rear of lots to such streets, side orientation at local street intersections, and the creative use of open space, retention areas and screening techniques between the street and the rear of properties.



- (8) Neighborhood streets should be designed to enhance neighborhood integrity and safety, encourage pedestrian activity, and provide logical connections to major activity centers (e.g. parks, schools, recreation facilities). The local street pattern should emphasize traffic calming techniques with short loops, cul-de-sacs, and gently curving streets.
- (9) Streets and street systems within the proposed development need to be designed to provide interconnection with surrounding development and neighborhood streets. Linear streets that encourage cut-through traffic should be avoided unless they are specifically identified in the General Plan as collector or arterial streets.
- (10) The minimum width of right-of-way, measured from lot line to lot line, shall be as established in the MDP based on City standards. Proposed streets shall extend or project existing streets at their same or greater width, but not at a width less than prescribed by established standards, unless it can be demonstrated that a narrower street will serve the function of efficient site planning and convenience for the residents/occupants and still satisfy public safety issues.
- (11) Access to development fronting on state highways must be in compliance with ADOT standards, including the established access management plans for those routes. Documentation must be provided from ADOT to ensure compliance with standards and requirements.
- (12) Traffic calming techniques shall be incorporated in the street layout for planned area developments where such calming of traffic is deemed desirable for supporting neighborhood values and improved quality of life. Effective traffic calming programs combine physical design concepts in the engineering of the street environment with traffic management programs that alter driver behavior, so as to reduce neighborhood traffic speeds and/or cut-through volumes in the interest of improving street safety and general neighborhood values. Traffic calming techniques shall include the following:
  - a) The incorporation of traffic calming techniques shall be based on carefully considered engineering principles for the design, placement and spacing of such features, as described in standards and guidelines produced by the Federal Highway Administration (FHWA), the Institute for Transportation Engineers (ITE), or similarly recognized professional standards; and
  - b) Traffic calming techniques shall include features such as intersection chokers, mid-block swellings, short block design, roadway deflections referred to as chicanes, traffic islands, center island refuges, textured pavement, speed tables, roundabouts, mini-circles and similar measures.



i. Open Space Standards.

- (1) Open space shall be designed as an integral part of the development. The designation of open space includes both undisturbed natural areas and developed landscape components. Open space should be designated to provide interconnection and continuity between undeveloped areas to the greatest extent possible so as to address the health of the environment, habitat protection and natural process. Additional objectives to be addressed by open space shall include buffering, screening, transition and similar design-based objectives.
- (2) Open space shall not be less than 30 percent of the gross acreage, of the parcels within the PAD proposed for residential and mixed-use development, excluding public and private road rights-of-way; and not less than 10 percent of the gross acreage of the parcels within the PAD proposed for commercial or industrial development, excluding public and private road rights-of-way, unless off-setting community benefits are demonstrated and approved in the MDP. Specific parcel allocations of open space may be required as part of the 30 percent and 10 percent overall requirements.
- (3) Additional area for open space may be required as a condition of approval for PAD Zoning based on the need for additional buffering between uses or the need to address preservation of unique natural aspects of the site, including washes, hillsides and other features identified as significant. Specific standards for open space shall be as per Section 407, Landscape Requirements of this ordinance.
- (4) Open space shall be conceptually depicted on the MDP as:
  - a) Dedicated municipal use, public parks, and school sites;
  - b) Bike paths, equestrian, and/ or hiking trails;
  - c) Public or private park and recreation areas;
  - c) Floodway and floodplain areas designated as undeveloped areas;
  - d) Retention basins required to comply with the one-hundred (100) year storm, per Ordinance number 172, shall be counted as open space when improved or landscaped to be a cohesive and integral element of the overall landscape plan;
  - e) Landscape yards that are adjacent to streets or common areas and that are designed as commonly-maintained and interconnected areas;
  - f) Development site enhancements, including landscapes and hardscaped areas, plazas, and courtyards; and



- g) Existing natural areas, including washes, drainage courses, riparian areas, hillsides, ridge lines, and other natural open space areas.

(5) Required open space area shall not include any of the following:

- a) Dedicated streets, alleys and other public rights-of-way, except that all landscaping within rights-of-way shall be included;
- b) Vehicular driveways, parking, loading, and storage areas;
- c) Reservation of municipal use, public park, or school sites which the governmental entity shall be required to purchase; only if such sites are dedicated shall they constitute open space as defined above;
- d) Concrete channels or rock lined areas designed primarily as a drainage channel. This does not include natural washes that may include some areas with rip rap treatment or minor rock lined features to augment erosion control; and
- e) Yards within residential areas of a PAD that are not otherwise included as part of a commonly maintained, integrated landscape.

j. Landscape Standards. Proposed landscape standards shall be in compliance with Section 407, Landscaping Requirements, of this ordinance. Any variation proposed for the PAD must clearly indicate an improvement to the adopted standards. In addition, the following is required:

- (1) Provide a master plant list for the development indicating trees, shrubs, groundcovers and other plants. Indicate proposed varieties for street trees and parking lot trees.
- (2) Describe techniques to ensure low water use landscaping will be provided, including xeriscape landscape treatment, greywater use and rainwater harvesting methods.
- (3) In addition to a master landscape plan for the development, provide graphic details for typical landscape installations, including development entry features, parks or common areas, building landscaping, parking lots, pedestrian walkways, typical streetscape and similar applications.

k. Statement of Water Use. For development that proposes to exceed the number of dwelling units allowed by the existing zoning classification, provide a statement comparing a likely range of water use for the proposed development in comparison to development under the current zoning. Contact the City of Cottonwood Utilities Department to obtain current data regarding average household water use for Cottonwood.



- l. Water Conservation Program. Dual drainage systems to accommodate gray water use are required for certain types of residential development, as per adopted amendments to the City of Cottonwood Plumbing Code. A Planned Area Development (PAD) may propose alternative water conservation systems, other than dual type plumbing systems, as part of its Master Development Plan. The City Council may waive the dual type plumbing system requirement as part of its approval of the PAD and/or development agreement upon finding that the project will incorporate superior water conservation, re-use and/or recharge features, including a reclaimed water system serving the PAD. Among the factors the City Council will evaluate include:
  - (1) The greater efficiency of a master planned community-wide application of water conservation, re-use and recharge features, demonstrating responsible use of reclaimed water as provided for in the approved Master Development Plan.
  - (2) The reclaimed water is not used for golf course irrigation, unless the course was previously approved and vested prior to the date of adoption of this Ordinance.
  - (3) That all City Council requirements be formalized in the PAD approval, Development Agreement approval and the community's Covenants, Conditions and Restrictions (CC&R'S).
  - (4) The installation of any re-use system or reclaimed water system is approved by and installed to all Federal, State, County and Municipal standards as they apply.
- m. Phasing Plan. Describe proposed phasing of the development, if any, and indicate the phase lines on the site plan.
  - (1) Interconnected public streets, sidewalks, drainage features and infrastructure may be required to be installed with the initial phase of development so as to adequately address public safety access, coherent development and functionality of facilities. The proposed phasing plan needs to indicate how adequate, safe, convenient and efficient circulation and infrastructure needs will be addressed with the phasing plan.
  - (2) A PAD plan may be constructed in phases and the PAD narrative shall specify the phases of development, locations and timing of on-site and off-site improvements for each phase, as well as, an estimated range of time for beginning and completion of each phase.
  - (3) Requests for minor modifications to the phasing plan shall be subject to approval by the Director with a right of appeal to the City Council.
  - (4) The applicant may enter into a development agreement with the City providing for the timing, sizing, and funding of phased infrastructure



improvements required for the PAD or may use any alternative mechanism acceptable to the City.

- (5) Disturbed areas approved for future phased development shall include dust free surfacing and/or temporary landscaping. Additional site treatments may be required for future development areas located next to public streets or adjacent to existing development.
- n. Operations and Maintenance Responsibilities. Identify the ownership and maintenance responsibilities for common areas and landscaping within rights-of-way and identify the homeowners association, improvements district, or other mechanism to assure long-term maintenance of common areas and rights-of-way.
  - (1) In the event that certain land areas or structures are provided within the PAD for private recreational use or as service facilities, the owner of such land and buildings shall establish an arrangement to assure a continued standard of maintenance consistent with the conditions of PAD approval.
  - (2) All utility lines, except electric utility lines 69KV or larger, shall be installed underground.
  - (3) Development within a PAD shall conform to all conditions and standards of PAD approval. The PAD applies to the subject property and change in ownership or successors in interest does not constitute a change in agreed upon standards and requirements. Section 404 General Provisions of the City of Cottonwood Zoning Ordinance shall apply for any general development standards not specifically a part of the PAD approval.
- o. Other Information and Exhibits. Any other documents, letters, photographs, or exhibits that provide information regarding the proposed PAD may be included with the MDP.
- p. Citizen Review and Participation. Section 301. B. of the Zoning Ordinance regarding Amendments or Zone Changes includes public notification and citizen participation requirements that must be addressed prior to any public hearing on the matter. This includes conducting neighborhood meeting/s, posting public notice on the subject property and mailing notices to surrounding property owners. Include documentation of citizen input, neighborhood meetings, public notification, letters of support, and miscellaneous correspondence.

#### E. APPLICATION AND PROCEDURES.

##### 1. Pre-Application Meeting.

The applicant shall meet with the Community Development Director, or his/her designee, to discuss the development concept for the proposed PAD zoning. The Director shall advise the applicant of the specific objectives of this section and the specific procedures, standards, and review process regarding the application.



## 2. Code Review.

The Code Review Board shall review the preliminary proposal for the PAD. The submittal shall include a narrative description of the proposal and a preliminary site plan indicating use areas, building locations, open space areas, streets and circulation elements and any other major features. The Code Review Board will provide an opportunity to discuss the application process and submittal requirements with representatives of applicable city departments, as well as to discuss the general development concept and PAD criteria.

## 3. P&Z Commission Application Submittal.

- a. Upon completion of the Pre-application and Code Review Board meetings, the Director shall provide the developer with the necessary application forms for the PAD submittal.
- b. Provide required number of copies of the Draft MDP in a ring binder format, as described in this ordinance, along with the required filing fee, shall be submitted to the Director or his/her designee for distribution to various departments and agencies, and for Planning and Zoning Commission members.
- c. Additional application material.
  - (1) Full size plans and digital files. Provide the required number of complete sets of full size (24" x 36") copies of the site plan, landscape plan, color renderings and other graphics exhibits shall be submitted with the application. Digital files (10 megs max, peg or PDF) shall also be submitted for the site plan, landscape plan, site photos and other requested graphics.
  - (2) Preliminary Traffic Impact Study, if applicable.
  - (3) Preliminary Grading and Drainage Report.
  - (4) Material and color samples. Descriptions and photo copies of material and color samples shall be included in the MDP binder format. Any manufacturer's samples of building materials and/or colors boards should be submitted as a separate exhibit.

## 4. Review Process.

- a. Staff will circulate the Draft MDP to the municipal departments and any other agency that may be affected by or have comments to the application.
- b. Within fourteen (14) days of the submittal of the MDP, the developer shall be apprised if Staff will require additional studies, or broadened scope of studies, beyond those enumerated in the MDP application requirements, such as a Multi-modal Circulation Plan, Drainage Concept Plan, Soils Report, Traffic Impact Analysis, or any other studies that the City staff determines is reasonably necessary for the review and approval of the proposed PAD.



- c. Upon receipt of the comments, the Planning and Zoning Department shall compile the comments and respond to the developer or agents in writing in a reasonable time period as to how the proposed PAD relates to the following:
  - (1) Conformance to the General Plan;
  - (2) Suitability of the PAD for development and constraints or stipulations; and
  - (3) Any additional requirements for improvements and major dedications required by the City and/or requests for such based on City policies.
- d. The developer shall conduct a neighborhood meeting for citizen review and participation in accordance with the provisions of Section 301 B. of the Zoning Ordinance prior to the public hearing presentation to the Planning and Zoning Commission. A description of the citizen review and participation process, including a list of people contacted, along with documentation of the results of the citizen participation program, including any correspondence received, shall be included with the MDP.

F. PLANNING AND ZONING COMMISSION REVIEW AND HEARING.

- 1. The application shall be filed, reviewed, noticed, and processed in accordance with Section 301 of the City Zoning Ordinance, pertaining to Procedures for Amendments or Zone Changes and Section 424, PAD Zone.
- 2. Upon receipt of a complete PAD application, Draft MDP, initial review comments and any additional materials requested, Staff shall prepare a report and package for the Planning and Zoning Commission.
- 3. The Planning and Zoning Commission shall review the Staff report and Draft MDP, along with related maps, reports, and data, and conduct a public hearing, to consider the proposal.
- 4. In considering applications for a PAD approval, the Commission may consider the following:
  - a. Conformance to the General Plan Land Use Map designation for the subject property, as well as to the intent of the General Plan as expressed through the goals, objectives and policies for each of the Plan Elements and Community Vision section;
  - b. The impact of the PAD on the existing and anticipated traffic and parking conditions;
  - c. Adequacy of proposed design criteria and development standards for the PAD;
  - d. Pedestrian and vehicular ingress and egress, including handicapped accessibility;



- e. Conceptual landscaping proposal;
  - f. Adequacy of utility infrastructure, including water supply and sewer capacity;
  - g. Site drainage and grading;
  - h. Open space and/or public land dedications; and
  - i. Non-motorized and multi-modal circulation.
5. The Commission shall conduct a public hearing to consider the proposal. The Commission may question the developer and approve, disapprove, carry over the discussion, request additional information, and/or recommend stipulations of PAD approval.
  6. If the Commission determines that the proposed PAD will not be detrimental to the health, safety, or welfare of the community, and is in harmony with the purposes and intent of this Ordinance, and the General Plan, the Commission may recommend to the City Council by motion that the PAD be approved. The recommendation may include any conditions and stipulations determined to be reasonably necessary for implementation of the PAD.

G. DEVELOPMENT REVIEW BOARD REVIEW AND HEARING.

1. Subsequent to the Planning and Zoning Commission review and recommendation and prior to the City Council hearing, the applicant shall submit the required number of copies of the Draft MDP for review and recommendation by the Development Review Board (DRB). No additional fees shall be required for preliminary DRB review of the Draft MDP.
2. The Development Review Board shall conduct a preliminary review of the proposed design guidelines submitted in the Draft MDP and the preliminary grading plan so as to provide recommendations to the City Council regarding the quality of the design theme for the overall project, as well as a preliminary report describing the materials, colors and design theme for building architecture, landscaping, grading, signage, site walls, parks, parking lot design, amenities and similar features.
3. The DRB shall review product design guidelines for all single-family residential development and provide recommendations to the City Council regarding the proposed design along with any recommended changes. Plans, elevations and color renderings for single-family residential development must be submitted with the MDP for review and recommendations by the DRB prior to the City Council hearing.
4. The DRB shall review preliminary grading plans for the PAD and provide recommendations to the City Council regarding the aesthetic quality of the proposal, including preservation of natural slopes and hillsides.



5. If there are substantial changes or modifications to any design guidelines, grading plans or residential product design prior to submittal of the Final MDP to the City Council, the Director may at his/her discretion require the developer to submit revised plans to the Development Review Board for their review and recommendations to the Council regarding such changes.
6. The Development Review Board shall conduct a public hearing to consider all applicable aspects of the proposal and shall then provide the Council with a recommendation for approval, disapproval, or additional stipulations regarding the proposal.
7. The preliminary review and recommendations by the DRB regarding the design theme and guidelines for the proposed PAD shall not take the place of the formal review and approval for individual buildings, structures and related features which is otherwise required through a separate application process subsequent to the approval of the PAD, unless such future development is specifically approved as part of the MDP or unless such development is otherwise exempt from the Development Review process.

#### H. CITY COUNCIL CONSIDERATION AND HEARING.

1. At least fifteen (15) days prior to the City Council hearing the applicant shall submit the required number of copies of the Draft MDP as approved by the Planning and Zoning Commission with recommendations from the Development Review Board. The City Council, following the report and recommendations of the Planning and Zoning Commission and Development Review Board, shall consider the PAD request. The request shall be processed and considered as set forth in Section 301 F. Amendments or Zone Changes of the City of Cottonwood Zoning Ordinance.
2. The City Council shall conduct a public hearing to consider the proposal. The Council's review shall encompass the same spectrum of considerations as did that of the Planning and Zoning Commission and Development Review Board. The City Council may approve, deny, carry over the request, or impose conditions and stipulations on the PAD approval. Approvals shall be for a specific development site, not a particular developer.

#### I. BUILDING PERMIT ISSUANCE.

No building permit will be issued for any portion of a PAD that has not received Development Review Board approval as required and that has not provided required financial assurances or dedications for such portion of the PAD, as may be required.

#### J. METHOD FOR WITHDRAWING AN APPLICATION FOR PAD APPROVAL.

Any application for a PAD may be withdrawn by the applicant in writing at any time prior to approval by the City Council.



K. AMENDMENTS TO PAD APPROVAL.

1. A request for an amendment to an approved PAD shall be processed as either a minor amendment or major amendment.
2. An application for a PAD amendment will be routed for review by all affected City departments or agencies and upon receipt of review comments, the Zoning Administrator will determine whether the requested change meets any one of the following criteria for a major amendment:
  - a. An increase in the total number of dwelling units of more than 5 percent above the original approval;
  - b. An increase in the gross leasable square feet within a PAD of more than 10 percent above the original approval;
  - c. A reconfiguration in land use designation boundaries and/or parcel sizes that increases or decreases the size of any land use designation boundaries and/or parcel sizes by more than 20 percent; and
  - d. Any other change which could have a significant impact on areas adjoining the PAD, including a significant traffic impact on roadways adjacent or external to the PAD.
3. All major amendments to a PAD shall be reviewed and approved by the Planning and Zoning Commission, Development Review Board and City Council following the same procedure as prescribed for the original approval.
4. Any PAD Amendment application, including a rearrangement of parcels, circulation systems and/or open space areas within a PAD that does not meet any of the above criteria shall be processed as a minor amendment. A minor amendment shall be reviewed by all affected City departments and agencies and may be administratively approved by the Zoning Administrator.

L. DENIAL OF PAD REQUEST.

As per Section 301. G. Reconsideration of Denied Amendments, in the event the PAD application is denied by the Council, the Commission shall not reconsider the PAD application for the same property or any portion thereof, within a period of one (1) year from the date of denial, unless the conditions on which the original denial was based have substantially changed.



